

**VILLAGE OF HUNTLEY
PLAN COMMISSION
May 11, 2020
6:30 PM
AGENDA**



**VILLAGE HALL WILL NOT BE ACCESSIBLE FOR THIS MEETING.
ACCESS SHALL ONLY BE AVAILABLE AS FOLLOWS:**

Pursuant to Governor Pritzker's Executive Order No. 2020-07 (COVID-19 Executive Order No. 5), Governor Pritzker has suspended certain rules of the Open Meetings Act – specifically the Executive Order permits remote public meetings. In light of the current COVID-19 public health emergency and the prohibition of public gathering of 10 or more, the Plan Commission has chosen to conduct the commission meeting remotely. The Village Hall remains closed to the public. If you would like to listen to the meeting, please dial in at (312) 757-3121 Access Code: 388-023-453. Public Comments will not be taken via the phone, except for a public hearing as noted below. Please mute your line while listening. All comments must be submitted prior to the start of the meeting and should be sent to Margo Griffin, Development Manager at mgriffin@huntley.il.us. Please state the meeting date in the subject line, and within the body of the e-mail also include your name and address and the topics or agenda items on which you wish to comment. Comments or questions received by 5:00 p.m. on May 11th will be read during the meeting. The meeting will be audio recorded and posted on the Village's website.

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Public Comments
5. Approval of Minutes
 - A. Approval of the February 24, 2020 Plan Commission Meeting Minutes
 - B. Approval of the March 9, 2020 Plan Commission Meeting Minutes
6. Petition(s)
 - A. Petition No. 20-05.01, Weber –Stephen Products LLC, as petitioner and owner, 11811 Oak Creek Parkway – Request is for approval of a Preliminary/Final Plat of Subdivision to Resubdivide Lot 1 of Weber-Stephen Plat of Consolidation.

MEETING LOCATION
Village Board Room
10987 Main Street
Huntley, IL 60142

The Village of Huntley is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding accessibility of the meeting or the facilities, please contact Interim Lisa Armour, Interim Village Manager at (847) 515-5200. The Village Board Room is handicap accessible.

7. Public Hearing(s)
 - A. Petition No. 20-05.02, Amin Dhanani on behalf of HZ Props RE, Ltd, as petitioner, and Ruby-02-HNTLYCMRCL, LLC, owner, Lot 3 in Huntley Crossings, Phase 2, Plat 1 (generally located east of Route 47 and north of Regency Parkway) – Request is for approval of (i) a Final Planned Unit Development, including any necessary relief and (ii) a Special Use Permit for a Drive-Through for a Popeyes Louisiana Kitchen in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.
8. Discussion
9. Adjournment

MEETING LOCATION
Village Board Room
10987 Main Street
Huntley, IL 60142

The Village of Huntley is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding accessibility of the meeting or the facilities, please contact Interim Lisa Armour, Interim Village Manager at (847) 515-5200. The Village Board Room is handicap accessible.

**VILLAGE OF HUNTLEY
PLAN COMMISSION MEETING**
Monday, February 24, 2020
MINUTES

5

CALL TO ORDER

Chairman Tom Kibort called to order the Village of Huntley Plan Commission meeting for February 24, 2020 at 6:30 pm in the Municipal Complex Village Board Room at 10987 Main Street, Huntley, Illinois 60142. The room is handicap accessible.

10

PLEDGE OF ALLEGIANCE

Chairman Kibort led the Pledge of Allegiance.

ROLL CALL

15

PLAN

COMMISSIONERS: Commissioners Darci Chandler, Lori Nichols, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort.

20

COMMISSIONERS

ABSENT: Commissioners Terra DeBaltz and Ron Hahn

ALSO PRESENT:

Director of Development Services Charles Nordman and Development Manager Margo Griffin

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4. Public Comments None.

5. Approval of Minutes

30

A. Approval of the January 13, 2020 Plan Commission Meeting

No additions or corrections were noted.

A MOTION was made to approve the January 13, 2020 Plan Commission Meeting Minutes.

35

MOVED: Vice Chair Dawn Ellison

SECONDED: Commissioner Lori Nichols

AYES: Commissioners Lori Nichols, Darci Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort

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NAYS: None

ABSTAIN: Commissioner Robert Chandler

MOTION CARRIED 4:0:1

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B. Approval of the January 27, 2020 Plan Commission Meeting Minutes

No additions or corrections were noted.

A MOTION was made to approve the January 27, 2020 Plan Commission Meeting Minutes.

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MOVED: Commissioner Robert Chandler
SECONDED: Commissioner Darci Chandler
AYES: Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort
5 **NAYS:** None
ABSTAIN: None
MOTION CARRIED 5:0:0

6. Public Hearing(s)

10 A. Petition No. 20-02.1, Plumbing Systems and Repair Inc., petitioner and owner, 11714 Powder Park Drive, Request is for consideration of Site Plan Review for a ±4,800 square foot building addition, including any necessary relief in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.
15

Chairman Kibort announced Manager Griffin would be giving a PowerPoint presentation to review the petition.

20 Manager Griffin reviewed slides including a slide with information on the petitioner/owner and the location of the property.

Petitioner/ Owner: Plumbing Systems & Repair
11714 Powder Park Drive
Huntley IL 60142

25 Subject Location: 11714 Powder Park Drive, Huntley, IL 60142; PIN 18-33-400-003, a 7.6-acre, “M” Manufacturing-zoned site.

30 Request: The petitioner is requesting approval of Site Plan Review, including any necessary relief, to accommodate the proposed ±4,800 square foot warehouse addition.

Manager Griffin reviewed an aerial photo and zoning map indicating the parcel in question, and reviewed the zoning, existing uses, and planned future uses for the surrounding parcels.

35 Zoning, Land Use and Comprehensive Plan:

LOCATION	ZONING	CURRENT USE	COMPREHENSIVE PLAN
Property in Question	“M” Manufacturing	Plumbing Systems & Repair, And Applied Ecological	Light Industrial
North	“RE-1” Residential Estate	Vacant	Single Family
South	“M” Manufacturing	Manufacturing	Light Industrial
East	RE-1 Residential Estate	Vacant	Single Family
West	“R-4” Townhouses and “R-5” Multi-family	Townhouses and Apartments	Duplex and Multi Family

DEVELOPMENT SUMMARY

Manager Griffin continued her PowerPoint presentation with a summary of the petition. Plumbing Systems and Repair, 11714 Powder Park Drive, is a plumbing company that deals directly with residential home builders (all

new construction) throughout the suburban Chicago market. Plumbing Systems and Repair currently occupies approximately 6,800 square feet of the building and leases approximately 3,000 square feet of warehouse space to Applied Ecological. Both businesses currently utilize the outdoor area to store equipment (mostly in shipping containers) and vandalism has become a problem due to the property's lack of visibility from adjacent roadways. The proposed warehouse addition will allow the businesses to store their equipment inside the building.

Manager Griffin stated the building's previous owner, Abitua Plumbing, constructed a 6,000 square foot warehouse addition in 2002. The plans submitted for permit at that time indicated a "future expansion" of the building; however, detailed plans for the expansion were not provided and the "future expansion" was never formally approved by the Village.

Site Plan Review

Manager Griffin reviewed the Site Plan. The proposed ±4,800 square foot warehouse addition will extend north 80-feet from the existing warehouse building and include two (2) additional overhead doors, and two entry doors on the west elevation. The new addition will reduce the rear setback adjacent to the north lot line to ±5 feet. The zoning ordinance requires "M" Manufacturing zoned parcels which abut residential zoning districts to maintain a 30-foot rear setback, requiring relief for a 5-foot setback.

Stormwater management for the addition is accommodated in the existing detention basin located to the east of the building.

Parking

Manager Griffin reviewed the parking for the site. The existing parking lot provides nineteen (19) spaces. This includes six (6) spaces in front (south) of the office space, eleven (11) west of the existing warehouse space, and two (2) on the east side of the building. There is one (1) handicap space provided. Plumbing Systems has 2 employees, and Applied Ecological has approximately 6 to 8 employees who park at the location during the day. Both businesses state they do not have clients or customers who visit them and believe the existing 19 spaces will remain adequate. The proposed and required parking for the existing facility and warehouse addition is as follows:

	REQUIRED RATIO	SQUARE FOOTAGE	REQUIRED
OFFICE - EXISTING	4.0 / 1,000 SQ. FT.	3,800	16
WAREHOUSE - EXISTING	1.0 / 1,000 SQ. FT.	6,000	6
WAREHOUSE - ADDITION	1.0 / 1,000 SQ. FT.	4,800	5
		TOTAL REQUIRED	27
		TOTAL PROVIDED	19
		RELIEF REQUIRED	8

Manager Griffin stated Plumbing Systems does not propose to add any additional parking spaces and will require relief for eight (8) spaces. In addition, they are requesting to continue the use of the gravel lot located to the north of the paved parking lot (adjacent to new warehouse). The Zoning Ordinance (Section 156.106 (C) (5)(a)) does not allow the use of gravel, thus requiring relief to allow the continued use of the gravel lot. (Staff notes, the parking area utilized by employees is a paved lot as required by the Ordinance.)

Building Elevations

Manager Griffin stated the proposed addition will utilize the same prefinished metal wall panels, and metal roof panels to match the existing facility.

Required Relief

Manager Griffin reviewed the relief required for the petition, as proposed.

1. Section 156.045(C)(3) of the Zoning Ordinance requires a setback of 30 feet adjacent to a residential zoning district. The property to the north of the subject site is zoned "RE-1" Residential Estate, therefore, requiring the building to be setback 30 feet from the north lot line. The petitioner is proposing to provide a building setback of ±5 feet, requiring relief of ±25 feet.
2. Relief for eight (8) parking spaces as required by Zoning Ordinance, Section 156.106 (H).
3. Relief from the Zoning Ordinance Section 156.106 (C) (5)(a) requiring asphalt parking lot.

ACTION REQUESTED

Manager Griffin stated the petitioners are requesting a motion of the Plan Commission, to recommend approval of Petition No. 20-02.1, Plumbing Systems and Repair Inc., petitioner and owner, 11714 Powder Park Drive, Requesting consideration of Site Plan Review for a ±4,800 square foot building addition, including any necessary relief in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

Manager Griffin recommended the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
3. The Village of Huntley will require adherence to Illinois drainage law and best management practices for stormwater management.
4. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
5. Upon issuance of the final certificate of occupancy, the petitioner shall be required to move all outside equipment to the interior of warehouse, and all other remaining outdoor materials and debris shall be removed from the property.
6. No building permits are approved as part of this submittal.
7. No sign permits are approved as part of this submittal.

Manager Griffin stated she had concluded her presentation, and introduced Kathy Stewart, who was there on behalf of Plumbing Systems and Repair.

Chairman Kibort thanked Manger Griffin and requested a motion to open the Public Hearing.

A MOTION was made to open the public hearing to consider Petition No. 20-2.1.

MOVED: Commissioner Robert Chandler
SECONDED: Commissioner Lori Nichols
AYES: Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS: None
ABSTAIN: None
MOTION CARRIED 5:0:0

Chairman Kibort stated that as this public hearing, anyone wishing to testify must be sworn in and asked those wishing to do so to stand. He then swore in Kathy Stewart of Plumbing Systems and Manager Griffin.

Chairman Kibort asked Ms. Stewart if she had anything to add. She stated Staff had done a good job of reviewing

the petition and she had nothing to add at this time, but she was available for questions.

Chairman Kibort then asked for comments or questions from the Commission.

5 Commissioner Darci Chandler did not have questions and stated she was okay with the petition and the conditions.

10 Vice Chair Ellison asked whether it would be helpful, with respect to relief, to turn the building addition footprint to the west, instead of north. Discussion ensued on issues of access, and the Vice Chair Ellison and the other Commissioners agreed the original proposal worked best. Vice Chair Ellison added she was happy to see the building expansion and cleanup efforts for the exterior.

15 Chairman Kibort inquired about the parking to verify the existing spaces were adequate. Ms. Stewart stated the parking more than met the needs of the 2 businesses, and she discussed the typical times people came and went. Ms. Stewart also reminded the Commission the main reason for the expansion was to move all the outside equipment into the building, and they did not anticipate any increase in employees at this time.

Commissioner Nichols had no questions and was in favor of the plan as proposed.

20 Commissioner Robert Chandler stated he liked the idea of the property having a cleaner and safer look. There was a short discussion on theft and the positives of moving all the equipment inside.

25 Commissioner Chandler commented on the future development of the residential (RE-1) zoned property to the north. Director Nordman stated that property would need to come in for a full site plan review when it is developed, and would need to meet setback requirements for RE-1 (40-foot for rear), or they would need to request relief from the Village.

Chairman Kibort requested a motion to close the public hearing.

30 **A MOTION was made to close the public hearing to consider Petition No. 20-2.1.**

MOVED: Commissioner Darci Chandler
SECONDED: Commissioner Robert Chandler
AYES: Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Vice Chair Dawn
35 **Ellison, and Chairman Tom Kibort**
NAYS: None
ABSTAIN: None
MOTION CARRIED 5:0:0

40 Chairman Kibort requested a motion to approve the petition.

A MOTION was made to approve Petition No. 20-2.1, Plumbing Systems and Repair Inc., petitioner and owner, 11714 Powder Park Drive, Request is for consideration of Site Plan Review for a ±4,800 square foot building addition, including any necessary relief in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance, subject to the following conditions:

- 50
- 1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.**
 - 2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.**

3. The Village of Huntley will require adherence to Illinois drainage law and best management practices for stormwater management.
4. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
5. Upon issuance of the final certificate of occupancy, the petitioner shall be required to move all outside equipment to the interior of warehouse, and all other remaining outdoor materials and debris shall be removed from the property.
6. No building permits are approved as part of this submittal.
7. No sign permits are approved as part of this submittal.

MOVED: Vice Chair Dawn Ellison
SECONDED: Commissioner Robert Chandler
AYES: Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS: None
ABSTAIN: None
MOTION CARRIED 5:0:0

7. Discussion

Director Nordman stated the next regularly scheduled Plan Commission meeting is Monday, March 9th, and there would be at least one petition on the agenda.

8. Adjournment

At 6:53 pm, a MOTION was made to adjourn the February 24, 2020 Plan Commission meeting.

MOVED: Vice Chair Ellison
SECONDED: Commissioner Lori Nichols
AYES: Commissioners Lori Nichols, Darci Chandler, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS: None
ABSTAIN: None
MOTION CARRIED 5:0:0

Respectfully submitted,

Margo Griffin

Development Manager
Village of Huntley

VILLAGE OF HUNTLEY
PLAN COMMISSION MEETING
Monday, March 9, 2020
MINUTES

5

CALL TO ORDER

Chairman Tom Kibort called to order the Village of Huntley Plan Commission meeting for March 9, 2020 at 6:30 pm in the Municipal Complex Village Board Room at 10987 Main Street, Huntley, Illinois 60142. The room is handicap accessible.

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PLEDGE OF ALLEGIANCE

Chairman Kibort led the Pledge of Allegiance.

ROLL CALL

15

PLAN

COMMISSIONERS: Commissioners Darci Chandler, Terra DeBaltz, Ron Hahn, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort.

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COMMISSIONERS ABSENT:

Commissioner Lori Nichols

ALSO PRESENT:

Director of Development Services Charles Nordman and Village Clerk Rita McMahon

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4. Public Comments None.

5. Oath of Office

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Village Clerk Rita McMahon conducted a swearing in ceremony to renew the Plan Commissioners' oaths of office, and for the members to officially take their first oath of office as Zoning Board of Appeals members. All six (6) members present were officially sworn in for the Plan Commission and Zoning Board of Appeals. *Commissioner Lori Nichols will be sworn in at a later date.*

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6. Public Hearing(s)

- A. Petition No. 20-03.1, TEQ LLC, petitioner, and Sunoco, as owner, 11320 Main Street, Request is for Site Plan Review for the installation of exterior silos, including any necessary relief in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

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Chairman Kibort announced Director Nordman would be giving a PowerPoint presentation to review the petition.

Director Nordman reviewed slides including a slide with information on the petitioner/owner and the location of the property.

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Petitioners: TEQ LLC
11320 Main Street
Huntley, IL 60142

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Owners: Sunoco
 1 N. 2nd St.
 Hartsville, S.C. 29550

5 Subject Location: 11320 Main Street, Huntley, IL 60142

Request: The petitioners are requesting approval of Site Plan Review, including any necessary relief, to accommodate the proposed installation of exterior silos.

10 Zoning, Land Use and Comprehensive Plan:

LOCATION	ZONING	CURRENT USE	COMPREHENSIVE PLAN
Property in Question	“M” Manufacturing	TEQ Manufacturing Facility	Light Industrial
North	“M” Manufacturing	Various Manufacturing Uses	Light Industrial
South	“R-1” Single Family Residence District	Village Public Works Facilities	Governmental, Utilities, Institutional and Cemeteries
East	“M” Manufacturing	Manufacturing	Light Industrial
West	“M” Manufacturing and “R-2” Single Family Residence District	Stormwater Detention / Depressional Storage Area	Single Family / Duplex and Multiple Family

DEVELOPMENT SUMMARY

Director Nordman continued his PowerPoint presentation with a summary of the petition. On October 11, 2018 the Village Board approved a ±46,800 square foot manufacturing-warehouse addition for TEQ, located on the 6.06 acre site at 11320 Main Street. The property is zoned “M” Manufacturing district.

Director Nordman stated the addition was constructed in 2019, and has increased the capacity for their manufacturing and warehouse functions. One major component of the project was the addition of equipment to expand their plastic sheet extrusion line. This extrusion line utilizes approximately 200,000 lbs. of virgin resin/week along with another 200,000 lbs. of internal regrind/week. With this large amount of material, TEQ is now seeking approval to allow the placement of up to three plastic resin silos on the exterior of the facility (north of the new expansion).

Site Plan Review

Director Nordman reviewed the Site Plan. The proposed exterior silos will be located at the northeast corner of the new warehouse facility at the corner of Kiley Drive and Bakley Street. The drawings indicate each silo is made of galvanized steel and measures 38 feet tall and 12 feet wide. The silos are set back 14 feet from the Kiley Drive property line, thereby requiring 16-feet of relief from the thirty (30) foot setback requirement. A line-of-sight drawing is included with the plans indicating the silos will not obstruct the required 50' line-of-sight clearance from the corner Kiley Drive/Bakley Street.

If the silos are approved and constructed, TEQ expects the resin to be delivered via bulk trailers, averaging five trucks a week. The bulk trucks would deliver the virgin plastic resin to the silos while parked on Kiley Drive.

Landscaping

The proposed site landscaping includes plantings surrounding the west, north, and east sides of the silos, including four (4) pear trees, twenty (20) sea green junipers, and ten (10) Jackman’s Cinquefoil. All landscaping clears the 50-foot line-of-sight requirement from the street corner.

Required Relief

Director Nordman reviewed the relief required for the petition, as proposed.

1. Section 156.045 (C)(3) of the Zoning Ordinance requires a thirty (30) foot building setback from the lot line adjacent to the Kiley Drive. As proposed, the silos are setback 14 feet; therefore, requiring relief to encroach into the required setback by 16 feet.

ACTION REQUESTED

Director Nordman stated the petitioners are requesting a motion of the Plan Commission, to recommend approval of Petition No. 20-03.1, 11320 Main Street, Requesting Site Plan Review for the installation of exterior silos, including any necessary relief in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley.

Director Nordman recommended the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
3. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
4. No building permits are approved as part of this submittal.
5. No sign permits are approved as part of this submittal.

Director Nordman stated he had concluded his presentation, and introduced Dan Williams, who was there on behalf of TEQ.

Chairman Kibort thanked Director Nordman and requested a motion to open the Public Hearing.

A MOTION was made to open the public hearing to consider Petition No. 20-3.1.

MOVED: Vice Chair Dawn Ellison
SECONDED: Commissioner Robert Chandler
AYES: Commissioners Darci Chandler, Terra DeBaltz, Ron Hahn, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort
NAYS: None
ABSTAIN: None
MOTION CARRIED 6:0:0

Chairman Kibort stated that as this public hearing, anyone wishing to testify must be sworn in and asked those wishing to do so to stand. He then swore in Dan Williams, Engineering Director for TEQ and Director Nordman. There were no additional persons present wishing to testify.

Chairman Kibort asked Mr. Williams if he had anything to add. He stated Staff had done a good job of reviewing the petition and he had nothing to add at this time, but was available for questions.

Chairman Kibort then asked for comments or questions from the Commission.

Commissioner Robert Chandler thought the project was acceptable and was sufficiently screened.

Commissioner Darci Chandler stated she was happy with the project.

Chairman Kibort asked about the type of plastic resin that would be stored in the silos. Discussion ensued.

Vice Chair Ellison asked about the deliveries via semi-trucks, and the timing of deliveries, Mr. Williams stated each truck would take 1 to 2 hours to unload. Vice Chair Ellison felt the delivery plans were acceptable.

5

Commissioner Hahn asked about whether anything being delivered or stored in the tanks would be explosive. Mr. Williams stated nothing was explosive, and only plastic resin was to be stored in the tanks.

10

Commissioner Hahn also asked what future plans TEQ had in place in case the silos were no longer needed, or if TEQ moved from this location. He suggested adding a condition of approval to allow the Village to require TEQ to remove the tanks if this situation did occur. The other Commissioners were in agreement with adding the condition.

15

There was no further comment from the Commission.

Chairman Kibort requested a motion to close the public hearing.

A MOTION was made to close the public hearing to consider Petition No. 20-3.1.

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MOVED: Commissioner Terra DeBaltz

SECONDED: Vice Chair Dawn Ellison

AYES: Commissioners Darci Chandler, Terra DeBaltz, Ron Hahn, Robert Chandler, Vice Chair Dawn Ellison, and Chairman Tom Kibort

NAYS: None

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ABSTAIN: None

MOTION CARRIED 6:0:0

Chairman Kibort requested a motion to approve the petition.

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A MOTION was made to approve Petition No. 20-3.1.1, TEQ LLC, petitioner, and Sunoco, as owner, 11320 Main Street, Request is for Site Plan Review for the installation of exterior silos, including any necessary relief in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance, subject to the following conditions:

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1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
3. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
4. No building permits are approved as part of this submittal.
5. No sign permits are approved as part of this submittal.

40

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The Plan Commission added the following condition of approval:

6. Should TEQ (or successor) cease utilizing the silos for storage of plastic resin, they shall be required to dismantle and remove the silos immediately.

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MOVED: Commissioner Ron Hahn
SECONDED: Vice Chair Dawn Ellison
AYES: Commissioners Darci Chandler, Terra DeBaltz, Ron Hahn, Robert Chandler, Vice
5 Chair Dawn Ellison, and Chairman Tom Kibort
NAYS: None
ABSTAIN: None
MOTION CARRIED 6:0:0

10 7. Discussion

Director Nordman stated the next regularly scheduled Plan Commission meeting is Monday, March 23rd;
however, there are currently no petitions scheduled for that date at the moment

15 8. Adjournment

At 6:49 pm, a MOTION was made to adjourn the March 9, 2020 Plan Commission meeting.

MOVED: Vice Chair Ellison
20 **SECONDED:** Commissioner Darci Chandler
AYES: Commissioners Darci Chandler, Terra DeBaltz, Ron Hahn, Robert Chandler, Vice
Chair Dawn Ellison, and Chairman Tom Kibort
NAYS: None
ABSTAIN: None
25 **MOTION CARRIED 6:0:0**

Respectfully submitted,
Margo Griffin
Development Manager
30 Village of Huntley

Village of Huntley
REQUEST FOR PLAN COMMISSION ACTION

MEETING DATE: May 11, 2020

SUBJECT: Petition No. 20-05.01, Weber –Stephen Products LLC, as petitioner and owner, 11811 Oak Creek Parkway – Request is for approval of a Preliminary/Final Plat of Subdivision to Resubdivide Lot 1 of Weber-Stephen Plat of Consolidation.

BACKGROUND INFORMATION

Petitioner/Owner: Weber – Stephen Products LLC
 1415 S. Roselle Road
 Palatine, Illinois 60067

Subject Location: 11811 Oak Creek Parkway

Request: The petitioner is requesting approval of a plat of resubdivision to divide Lot 1 of Weber – Stephen Plat of Consolidation into two (2) lots.

Zoning, Land Use and Comprehensive Plan:

LOCATION	ZONING	CURRENT USE	COMPREHENSIVE PLAN
Property in Question	“BP” Business Park	Weber - Stephens Manufacturing Facility	Business Park
North	Unincorporated Kane County and “B-3” Shopping Center Business	Agricultural / Vacant	Retail and Service Commercial / Business Park
South	Unincorporated Kane County	Agricultural	Business Park
East	Unincorporated Kane County	Agricultural	Business Park
West	“C-2” Regional Retail and “BP” Business Park	Village Green Retail Center	Retail and Service Commercial / Business Park

DEVELOPMENT SUMMARY

The petitioner is requesting approval to resubdivide Lot 1 of Weber – Stephen Plat of Consolidation into two (2) lots. The existing lot includes the Weber – Stephen manufacturing facility and vacant land to the north of the facility. The petitioner is proposing subdivide the existing lot into two lots to allow for a future conveyance of the property. Lot 1 will be ±35.5 acres and will include the existing manufacturing facility and associated parking. Lot 2 will be ±11.84 acres and will consist of the vacant land located to the north of the manufacturing facility. Both proposed lots will have frontage on Oak Creek Parkway.

STAFF ANALYSIS

The subject property is zoned “BP” Business Park which requires a minimum lot area of one (1) acre (there is no minimum lot width requirement). Both proposed lots conform to the minimum lot area requirement. Furthermore, the manufacturing facility and related improvements on Lot 1 will continue to conform to the bulk standards (building and parking setbacks, building coverage, etc.) for the “BP” zoning district.

REQUESTED ACTION

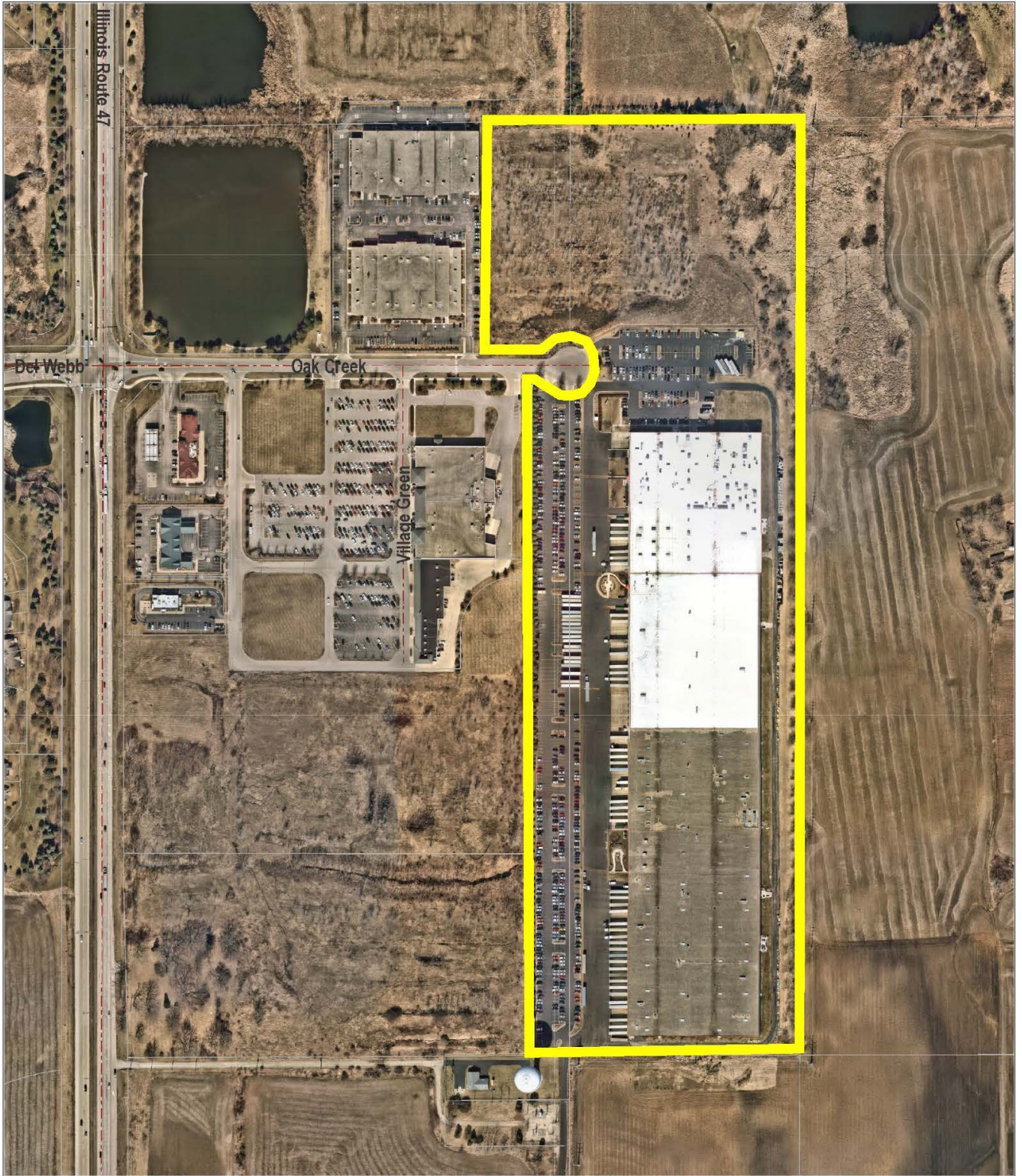
The petitioner requests a motion of the Plan Commission to recommend approval of Petition No. 20-05.01, Requesting approval of a Preliminary/Final Plat of Subdivision to Resubdivide Lot 1 of Weber-Stephen Plat of Consolidation.

Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

1. Upon approval of the Final Plat by the Village Board, the Owner shall record the plat with the Recorder of Kane County within three months. If not recorded within this time, the approval shall be null and void (Section 155.221(A)(5) of the Village's Subdivision Ordinance).

EXHIBITS

- Site Aerial
- Weber – Stephen Plat of Resubdivision



Weber-Stephen

VILLAGE OF HUNTLEY

10987 Main Street
Huntley, IL 60142
(847)669-9600

DISCLAIMER: The Village of Huntley Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



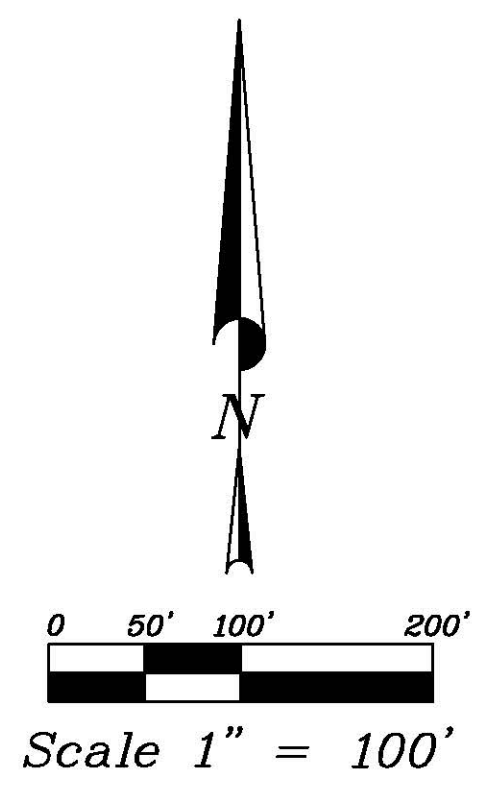
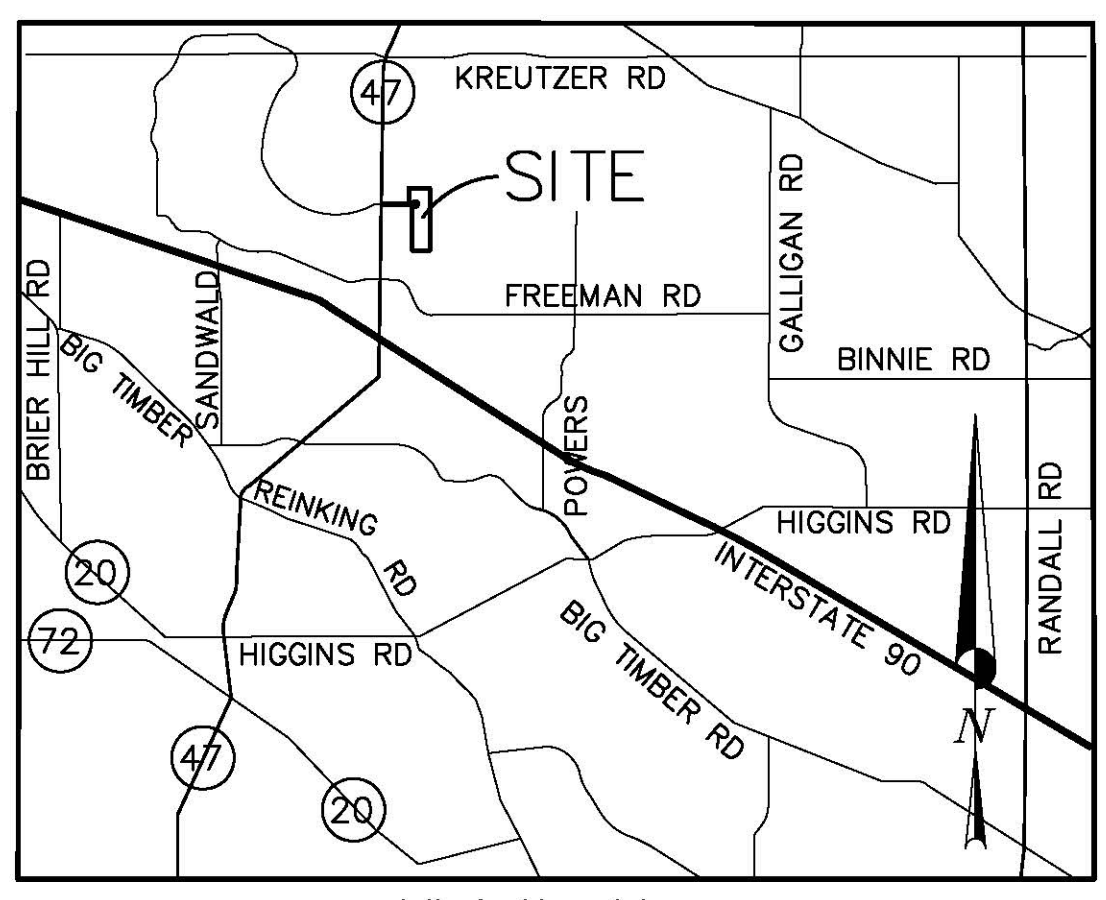
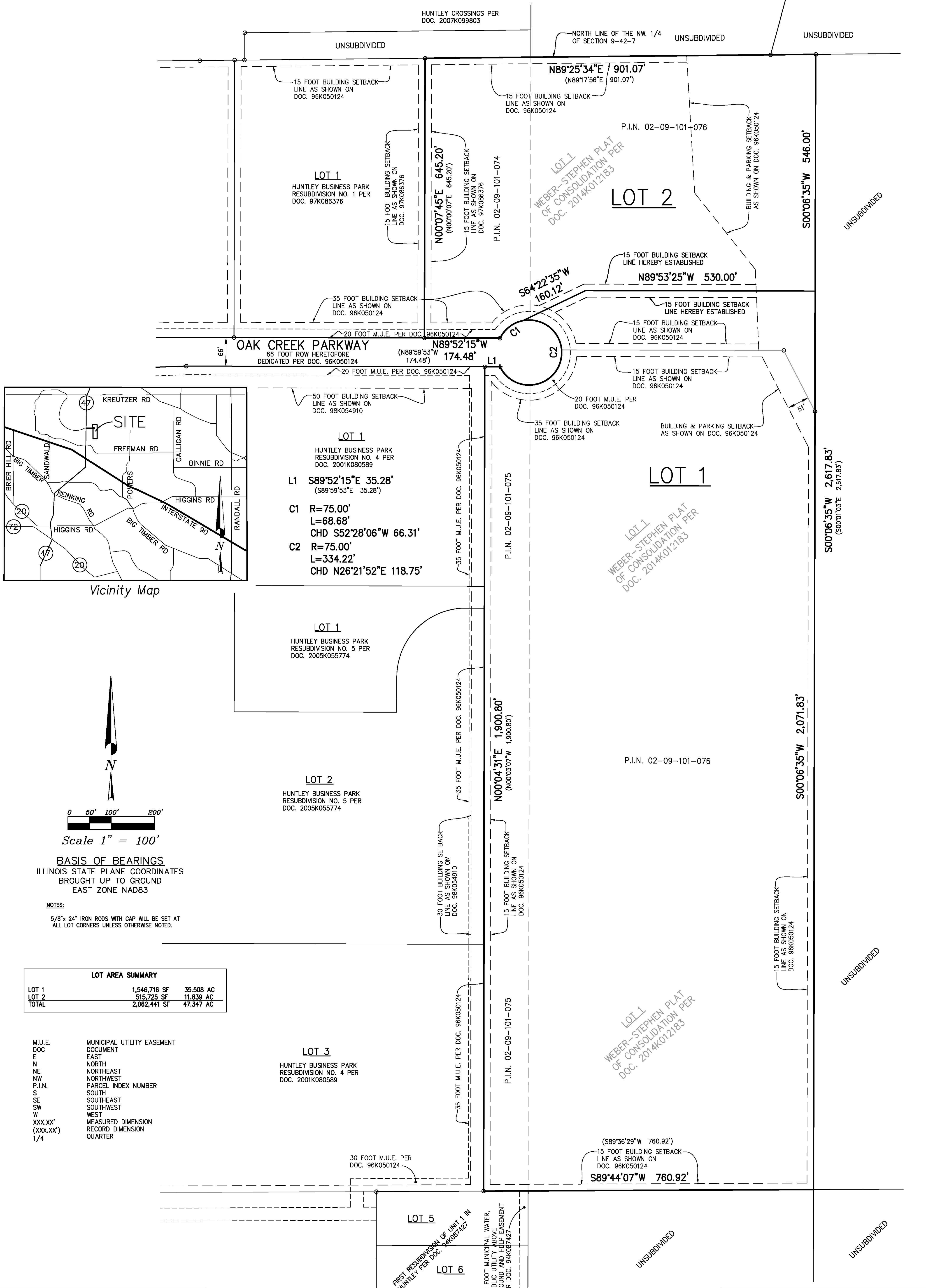
SCALE: 1" = 400'

Print Date: 5/8/2020

P.I.N. 02-09-101-074 &
 02-09-101-075 &
 02-09-101-076

WEBER-STEPHEN PLAT OF RESUBDIVISION

OF
 LOT 1 OF WEBER-STEPHEN PLAT OF CONSOLIDATION BEING A SUBDIVISION OF PART OF THE NORTHWEST
 QUARTER OF SECTION 9, TOWNSHIP 42 NORTH, RANGE 7 EAST, OF THE THIRD PRINCIPAL MERIDIAN ACCORDING
 TO THE PLAT THEREOF RECORDED MARCH 14, 2014, AS DOCUMENT NUMBER 2014K012183, IN THE OFFICE OF THE
 RECORDER, KANE COUNTY, ILLINOIS.



BASIS OF BEARINGS
 ILLINOIS STATE PLANE COORDINATES
 BROUGHT UP TO GROUND
 EAST ZONE NAD83

NOTES:
 5/8" x 24" IRON RODS WITH CAP WILL BE SET AT
 ALL LOT CORNERS UNLESS OTHERWISE NOTED.

LOT AREA SUMMARY		
LOT 1	1,546,716 SF	35.508 AC
LOT 2	515,725 SF	11.839 AC
TOTAL	2,062,441 SF	47.347 AC

M.U.E. MUNICIPAL UTILITY EASEMENT
 DOC DOCUMENT
 E EAST
 N NORTH
 NE NORTHEAST
 NW NORTHWEST
 S SOUTH
 SE SOUTHEAST
 SW SOUTHWEST
 W WEST
 XXX.XX' MEASURED DIMENSION
 (XXX.XX') RECORD DIMENSION
 1/4 QUARTER

Survey No.:	F 9 0 2
Ordered By.:	DLA Piper LLP
Description:	Plat of Resubdivision
Date Prepared:	March 30, 2020
Scale:	1" = 100'
Field Work:	MB/SB
Prepared By:	TGW

JACOB & HEFNER ASSOCIATES
 1333 Butterfield Road, Suite 300, Downers Grove, IL 60515
 PHONE: (630) 652-4600, FAX: (630) 652-4601
 www.jacobandhefner.com
 Illinois Professional Design Firm
 License No. 184-003073 Exp. 4/30/21

Village of Huntley
REQUEST FOR PLAN COMMISSION ACTION
PUBLIC HEARING

MEETING DATE: May 11, 2020

SUBJECT: Petition No. 20-05.02, Amin Dhanani on behalf of HZ Props RE, Ltd, as petitioner, and Ruby-02-HNTLYCMRCL, LLC, owner, Lot 3 in Huntley Crossings, Phase 2, Plat 1 (generally located east of Route 47 and north of Regency Parkway) – Request is for approval of (i) a Final Planned Unit Development, including any necessary relief and (ii) a Special Use Permit for a Drive-Through for a Popeyes Louisiana Kitchen in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

BACKGROUND INFORMATION

Petitioner: Amin Dhanani on behalf of HZ Props RE, Ltd
4415 Highway 6
Sugar Land, TX 77478

Owner: Ruby-02-HNTLYCMRCL, LLC
6723 Weaver Road – Suite 108
Rockford, IL 61114

Subject Location: Lot 3 of the Huntley Crossings, Phase 2, Plat 1 subdivision; PIN 02-04-102-003, the 1.143-acre site is generally located on the east side of Route 47 and north of Regency Parkway.

Request: The application proposes development of a Popeyes Louisiana Kitchen restaurant with drive-through lane and associated site improvements.

Zoning, Land Use and Comprehensive Plan:

LOCATION	ZONING	CURRENT USE	COMPREHENSIVE PLAN
Property in Question	“B-3 (PUD)” Shopping Center Business – Planned Unit Development	Vacant	Retail and Service Commercial
North	“B-3 (PUD)”	Vacant	Retail and Service Commercial
South	“B-3 (PUD)”	Vacant	Retail and Service Commercial
East	“B-3 (PUD)”	Vacant	Retail and Service Commercial
West	“C-2-PDD” Regional Retail – Planned Development District	Multi-Tenant Restaurant/Retail Center	Mixed-Use Commercial / Office

Development Summary

HZ Props RE, Ltd., on behalf of Popeyes Louisiana Kitchen (“Popeyes”) has submitted plans for a proposed 2,454 square foot restaurant with a drive-through to be located on Lot 3 of Huntley Crossings,

Phase 2, Plat 1. The subject site is a ±1.14-acre lot located near the northeast corner of Route 47 and Regency Parkway, between O'Reilly Auto Parts and Panda Express.

The Rubloff Development Phase II and III Annexation Agreement, Preliminary/Final Plat of Subdivision and Preliminary Planned Unit Development for Huntley Crossings – Phase 2 established the framework for development within the subdivision. The Second Amendment to the annexation agreement recorded in 2017 included increasing the number of drive-through restaurants allowed (from two to four) within the subdivision and revised the parameters for signage (i.e. Outlot sign height increased from six (6') feet to ten (10') feet and may be installed within ten (10') feet from the property line rather than fifty (50') feet). The Final Planned Unit Development plan for each lot requires review and approval by the Plan Commission and Village Board and adherence to the Village's Commercial Design Guidelines.

Staff Analysis

Final Planned Unit Development

Site Plan

The Popeyes site plan proposes a 2,454 square foot building with parking for 20 vehicles and includes cross access to the parking lot for O'Reilly Auto Parts. The building is oriented towards Route 47 and the main entrance to the restaurant is located on the south elevation of the building. Access to the site will be provided from the private access road at the rear of the site, in addition to the cross access with O'Reilly Auto Parts to the south. The site plan also includes a sidewalk connecting the walk at the rear access road to the main entrance on the south elevation.

Parking

The Second Amendment Rubloff Development Phase II and III Annexation Agreement requires drive through eating establishments of 2,500 square feet or less to provide ten (5) parking spaces per 1,000 square feet of floor area, thereby requiring thirteen (13) parking stalls for the subject site. The proposed twenty (20) parking spaces exceed the required number of parking spaces required for the restaurant. The site plan also includes parking stalls that are 10 feet in width and 19.5 feet in depth, which exceed the minimum dimensions required by the Zoning Ordinance. The width of the parking lot drive aisle is also greater than required and will measure 25.5 feet in width.

Building Elevations

The proposed building elevations consist of three (3) shades of brick (Aspen White, Stone Grey, and Flagstaff) and composite wood accent material surrounding the window on the west elevation. Canopies will be located over all storefront windows and over the drive-through pick-up area. Faux shutters will be located on the north and south elevations and gooseneck style light fixtures will be installed on all four elevations. The trash enclosure will be constructed of Stone Grey colored brick and will be connected to the rear of the building with a wrought iron gate.

Landscaping

The landscape plan submitted for the site features foundation plantings, and one (1) shade tree internal to the site and fourteen (14) shade trees around the perimeter. Tree species include three (3) Ohio Buckeye, four (4) Chicagoland Hackberry, six (6) Chinkapin Oak, one (1) Bold Cypress, and one (1) American Basswod. The landscape plan includes a variety of plantings, including four (4) varieties of evergreen shrubs, four (4) species of deciduous shrubs, three (3) types of ornamental grasses, and three (3) species of perennials. The proposed plantings and trees meet or exceed the Village's Landscape Ordinance and Commercial Design Guidelines.

Site Lighting

The petitioners propose installation of six (6) decorative lantern-style parking lot light fixtures (4 single and 2 back-to-back), which match the lighting in the Panda Express parking lot to the north. The restaurant also utilizes decorative gooseneck wall mounted fixtures on all four sides of the building. The Village’s Zoning Ordinance requires parking lot lighting to have an average minimum illumination of two foot-candles within the parking lot and a maximum of 0.5 foot-candles at the property lines. The photometric plan meets the Village standards.

Signage – Wall

The proposed Popeyes sign plan includes five (5) wall signs. The proposed wall signage includes “Popeyes Louisiana Kitchen” signs on the west elevation, facing Route 47, and on the east elevation facing the access drive. The restaurant’s round “building seal” logo will be located on both the north and south elevations. The south elevation also includes a non-illuminated acrylic wall sign stating “love that chicken”.

The proposed wall sign package breaks-down as follows:

Building elevation	Number of signs allowed	Number of signs proposed	Square footage of signs allowed	Square footage of signs proposed	Relief required
West (front)	1	1 ⁽¹⁾	143.54 sf Total for all signs	52.55	None
East (rear)	0	1 ⁽¹⁾	--	52.55	For one (1) sign
North (side) drive-thru	0	1 ⁽²⁾	--	7.07	For one (1) sign
South (side)	0	2 ^(2 & 3)	--	7.07 and 94.92	For two (2) signs
Total	1	5	143.54	214.16	Four (4) addl. Signs and addl. 70.62 square feet

The three (3) types of proposed walls signs are:

- (1) “Popeyes Louisiana Kitchen” sign, illuminated – 52.55 sf
- (2) “Popeyes” circle building seal sign, illuminated – 7.07 sf
- (3) “Love That Chicken” acrylic FCO letters, non-illuminated, 94.92 sf

Signage – Ground

The proposed ground signage for the restaurant consists of a two-sided, 3’ x 7’ (21 square foot/side), ten (10’) foot tall monument sign adjacent to Route 47, and will be constructed of brick to match the building. The proposed monument sign meets the commercial design standards and Huntley Crossings Annexation Agreement. The sign includes an Electronic Message Center, which is prohibited by the Village’s Sign Regulations; therefore, the message board will require relief to be approved by the Village Board.

Required Relief

The proposed plans require the following relief:

1. The Sign Ordinance allows one wall sign per tenant or one per street frontage. The subject site has street frontage only on Route 47, therefore, allowing one (1) wall sign by right. Relief is

required to allow four additional wall signs and an additional 70.62 square feet of wall signage. Such relief is consistent with relief approved for McDonald's, Panda Express, and Burger King.

2. The ground sign includes an Electronic Message Board, which is prohibited by the Village's Sign Regulations; therefore, the message board will require relief.

Special Use Permit

The Amended Annexation Agreement for the subject property limits drive-through restaurants to no more than four (4) within the Phase II outlots. The proposed Popeyes restaurant with drive-through represents the second of these establishments to develop on an outlot within the Huntley Crossings Phase II development, with the Panda Express restaurant adjacent to the north being the first.

Per the Huntley Zoning Ordinance, a Special Use Permit is required for drive-through food service in the "B-3" Shopping Center Business District and when reviewing a Special Use Permit, the Plan Commission must consider the standards identified in Section 156.068(E) of the Zoning Ordinance. No Special Use Permit shall be recommended or granted pursuant to Section 156.068(E) unless the applicant establishes the following:

Standards for Special Use Permits (1) General Standards. No special use permit shall be recommended or granted pursuant to this Section unless the applicant shall establish that:

- (a) Code and Plan Purposes. The proposed use and development will be in harmony with the general and specific purposes for which this Code was enacted and for which the regulations of the district in question were established and with the general purpose and intent of the Official Comprehensive Plan.
- (b) No Undue Adverse Impact. The proposed use, drainage and development will not have a substantial or undue adverse effect upon adjacent property, the character of the area or the public health, safety and general welfare.
- (c) No Undue Interference with Surrounding Development. The proposed use and development will be constructed, arranged and operated so as not to dominate the immediate vicinity or to interfere with the use and development of neighboring property in accordance with the applicable district regulations.
- (d) Adequate Public Facilities. The proposed use and development will be served adequately by essential public facilities and services such as streets, public utilities, drainage structures, police and fire protection, refuse disposal, parks, libraries, and schools, or the applicant will provide adequately for such services.
- (e) No Undue Traffic Congestion. The proposed use and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential street.
- (f) No Undue Destruction of Significant Features. The proposed use and development will not result in the destruction, loss or damage of natural, scenic and historic feature of significant importance.
- (g) Compliance with Standards. The proposed use and development complies with all additional standards imposed on it by the particular provision of this Code authorizing such use.

Included in the exhibit materials is the petitioner's SUP qualifying statement and narrative.

Village Board Concept Review

The Village Board reviewed the conceptual plans on February 13, 2020. The following is a summary of the comments by the Village Board:

- A Trustee commented on the width of vehicle stacking aisle at the entrance to the drive-through and stated there wasn't room to pass a vehicle should someone wish to exit the drive-through.

ACTION REQUESTED

The petitioner requests a motion of the Plan Commission, to recommend approval of Petition No. 20-05.02, Requesting approval of (i) a Final Planned Unit Development, including any necessary relief and (ii) a Special Use Permit for a Drive-Through for a Popeyes Louisiana Kitchen in accordance with the site plan that has been submitted to, and is on file with, the Village of Huntley, pursuant to the requirements of Section 156.204 of the Huntley Zoning Ordinance.

Staff recommends the following conditions be applied should the Plan Commission forward a positive recommendation to the Village Board:

1. All public improvements and site development must occur in full compliance with the submitted plans (see list of exhibits) and all other applicable Village Municipal Services (Engineering, Public Works, Planning and Building) site design standards, practices and permit requirements.
2. The petitioner will comply with all final engineering revisions to be approved by the Village Engineer and Development Services Department.
3. The Village of Huntley will require adherence to Illinois drainage law and best management practices for stormwater management. The petitioner, its agents and assignees are responsible for not increasing the rate of stormwater runoff and will be required, to the extent practicable, to minimize any increase in runoff volume through “retention” and design of multi stage outlet structures.
4. The petitioner shall obtain final approval of the Landscape Plan from the Development Services Department.
5. All permanent and seasonal plantings must be replaced immediately upon decline.
6. In accordance with the Village’s Commercial Design Guidelines, screens, dormers or other features are required to conceal rooftop mechanical equipment on all sides of the structure if the Development Services Department determines that the parapet walls, as proposed, do not fully screen said equipment.
7. The petitioner is required to meet all development requirements of the Huntley Fire Protection District.
8. No building plans or permits are approved as part of this submittal.
9. No sign permits are approved as part of this submittal.
10. The electronic message board sign shall contain static messages only and shall not have movement or the appearance or optical illusion of movement, of any part of the sign structure, design, or pictorial segment of the sign, including the movement or appearance of movement of any illumination or the flashing, scintillating or varying of light intensity other than that provided through an automatic dimming system to control overall illumination intensity. Each message on the sign shall be displayed for a minimum of 10 seconds. The change of messages must be accomplished immediately.

EXHIBITS

- Popeyes – Lot 3, Huntley Crossings – Phase 2 – site aerial, dated 5.7.20
- Popeyes – SUP qualifying statement, dated 4.8.20
- Popeyes – Architectural Elevations, AKA Architects, dated 5.1.20
- Popeyes – Site Plan, Engineering, Landscaping Plans, Woolpert, dated 5.1.20
- Popeyes – Sign Plan, Loren Industries, dated 5.5.20



Village of Huntley GIS
Popeyes -Huntley Crossings Lot 3

DISCLAIMER: The Village of Huntley Does not guarantee the accuracy of the material contained here in and is not responsible for any misuse or misrepresentation of this information or its derivatives.



SCALE: 1" = 100'

VILLAGE OF HUNTLEY
10987 Main Street
Huntley, IL 60142
(847)669-9600

Print Date: 5/7/2020

QUALIFYING STATEMENT AND NARRATIVE

Date: April 8th, 2020

Margo Griffin – Development Manager
Village of Huntley
10987 Main Street
Huntley, IL 60142
(847) 515-5269
mgriffin@huntley.il.us

Ref: Qualifying statement and narrative for a proposed ~2454 sq.ft. Popeyes restaurant with a drive-thru window in Lot-3 located east of IL Route-47, between Lots 2 and 4 of the Huntley Crossings subdivision, and north of Regency Parkway, commonly known as 12360 Route-47, Huntley, IL 60142.

This qualifying statement and narrative is intended to meet the requirements of the Final Development and Special Use P.U.D. petition. HZ Props RE, Ltd. is proposing the development and construction of a drive-thru Popeye's Louisiana Kitchen restaurant, approximately 2454 sq.ft. in Lot-3 located east of IL Rte.-47, between Lots 2 and 4 of the Huntley Crossings subdivision, and north of Regency Parkway, commonly known as 12360 Route-47, Huntley, IL 60142.

Lot-3 is of a regular rectangular shape and measures approximately 49,786 sq.ft. or 1.14 acres in area within the Huntley Crossings subdivision. The proposed development is bound by IL Rte.-47 to its west, Lot-2 to its north, Lot-4 & Regency Parkway to its south, and a 30'-0" access drive to its east. Vehicular access to Lot-3 will be from the east access drive via Regency Parkway.

The proposed development is a Planned Unit Development (P.U.D.), zoned B-3, a Shopping Center Business District; requiring Final Planned Unit Development and Special Use approvals from the Village of Huntley. To our knowledge and at this time, HZ Props RE, Ltd. is not seeking any departures or variances from existing Village of Huntley zoning ordinances.

Based on the Village of Huntley's Zoning Map dated March 28th, 2019, the immediate surrounding neighborhood is zoned B-3 Shopping Center Business District north and south of Lot-3, and C-2 Regional Retail west of IL Rte.-47. The proposed Popeye's development stays consistent with the trends of development indicated in the Zoning Map dated March 28th, 2019 as it follows previous retail and restaurant developments on the same side of Huntley Crossings.

The proposed drive thru Popeyes restaurant will have a gross building footprint of about 2454 sq.ft. with a total of 20 parking spaces including 2 accessible parking spaces. The building is set back approximately 128'-0" from the east property line, approximately 39'-0" from the north property line, approximately 127'-6" from the west property line and approximately 71'-6" from the south property line. It will have access and exit lanes internally within the Huntley Crossings' lot with a single point of access to the east of the lot via Regency Parkway. Lots 3 and 4 are connected to each other by means of a 25'-0" wide driveway located at the south-west corner of Lot-3 and the north-west corner of Lot-4 respectively. A bike rack will also be provided and is located west of the main entrance to the restaurant. A 12'-0" drive thru lane with a 16'-0" bypass lane loops around the proposed building by starting on the east side of the property and terminating west of the proposed building. Both the starting and terminating points of the drive thru lane are 16'-0" in width. The drive thru will have a single stack of 9 vehicles from the start of the drive thru lane to the drive thru window.

The restaurant will have a total of at least 56 interior seats and no exterior seats. The proposed building will be of the non-combustible type (metal stud frame construction) with a 4" cast stone band separating a stone gray thin brick base (EB-2) and a white thin brick veneer (EB-3). These finishes are broken up by a red thin brick veneer (EB-1) at the main entrance and at the drive thru window extending vertically from grade to the top of the parapet wall. The exterior

finishes are consistent with the architectural requirements of the 2020 Village of Huntley Development Guide and the design requirements of the Popeyes Louisiana Kitchen brand. Glazed entry doors and windows shall be of a black anodized aluminum frame material shaded with metal canopies finished in an exotic bright red or black color. Architectural elements such as painted blue shutters will be installed on the north and south sides to break up the monotony of having a blank brick wall.

A trash enclosure will be situated to the east of the main building in an enclosed area constructed of a 6'-0" high CMU wall and finished with the dark grey thin brick veneer (EB-2). The site will be adequately landscaped, lit and remain within the limits of the Village of Huntley's landscape and lighting ordinances. A landscape plan (C-500) and a photometric plan (C-700) has been included with this development package.

Water, electric, gas, communication and sanitary utilities are shown on sheet C-400 of the civil engineering drawing package. Storm-water drains will be installed within the site and drained into the detention basin on the west side of the site. Detention for storm-water run-off will not be additionally provided as it is the engineer's understanding that the existing detention area west of the subject site is designed for the entire subdivision including all future outlots and developments within the Huntley Crossings Development.

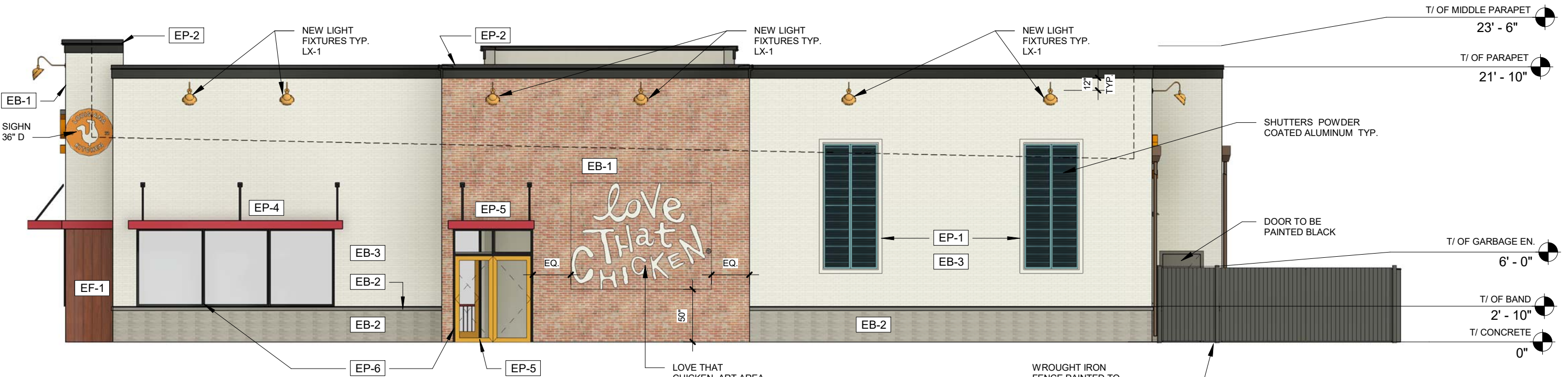
Business hours for the proposed Popeyes will be as follows:

10 a.m. – 11 p.m.: Sunday thru Thursday
10 a.m. – 12 a.m.: Friday and Saturday

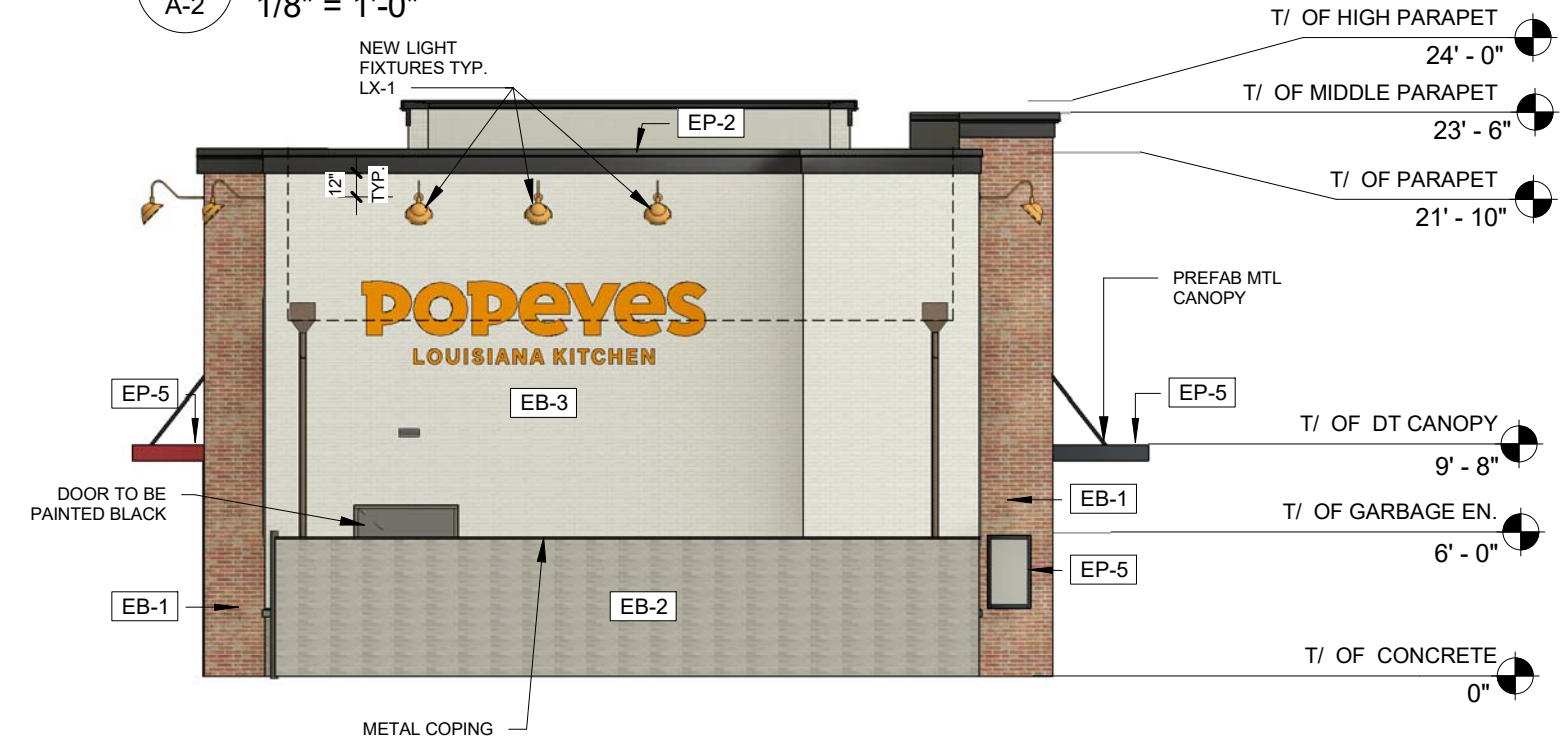
The proposed Popeyes restaurant will have a total number of 20 employees, 12 of which will be employed on a full time basis and 8 will be employed part time. A maximum of 8 employees will be at the restaurant at any given time during business hours.

According to Popeyes' standards, the time it takes a drive-thru customer to order food at the drive-thru menu board and pick it up at the drive-thru window, is approximately 180 seconds or 3 minutes.

The proposed Popeyes restaurant will be developed and constructed in accordance with the building and health code requirements, while also maintaining the general safety and welfare of the community.



1 PROPOSED EXTERIOR ELEVATION - SOUTH
A-2 1/8" = 1'-0"



2 PROPOSED EXTERIOR ELEVATION - EAST
A-2 1/8" = 1'-0"

NOTES

FOR SIGNAGE INFO REFER TO SIGNAGE PACKAGE,
FOR LOREN INDUSTRIES SPECIFICATIONS

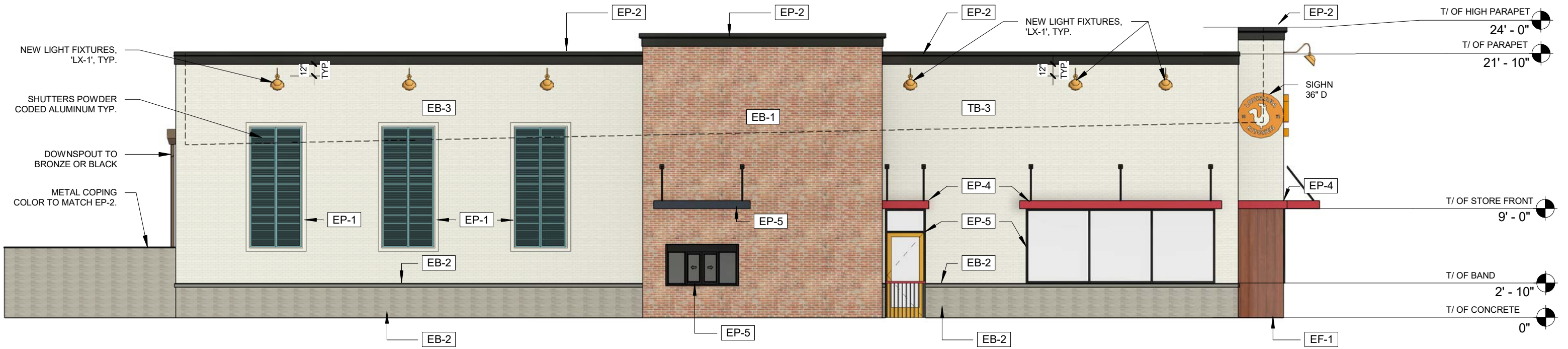
EXTERIOR MATERIAL LEGEND

BRICK (EB-1) BRICK COLOR: FLAGSTAFF	EIFS TRIM- PAINTED (EP-1) - COLOR: -	SHUTTERS - -
THIN BRICK (EB-2) GLEN-GERY COLOR: STONE GREY K-12-3009	EXTERIOR PAINT (EP-2) BENJAMIN MOORE BLACK IRON	DOORS - -
THIN BRICK (EB-3) GLEN-GERY COLOR: ASPEN WHITE S804	EXTERIOR PAINT (EP-4) BENJAMIN MOORE EXOTIC RED	
WOOD FINISH (EF-1) WOODEN SIDING PANEL CEDAR	METAL / PAINT (EP-5) - FACTORY FINISH BLACK	



POPEYES LOUISIANA KITCHEN
12360 ROUTE-47
HUNTLEY, IL 60142
PROPOSED EXTERIOR ELEVATIONS S+E
Scale As indicated
Date: 05/01/2020
COPYRIGHT 2020 AKA LTD.

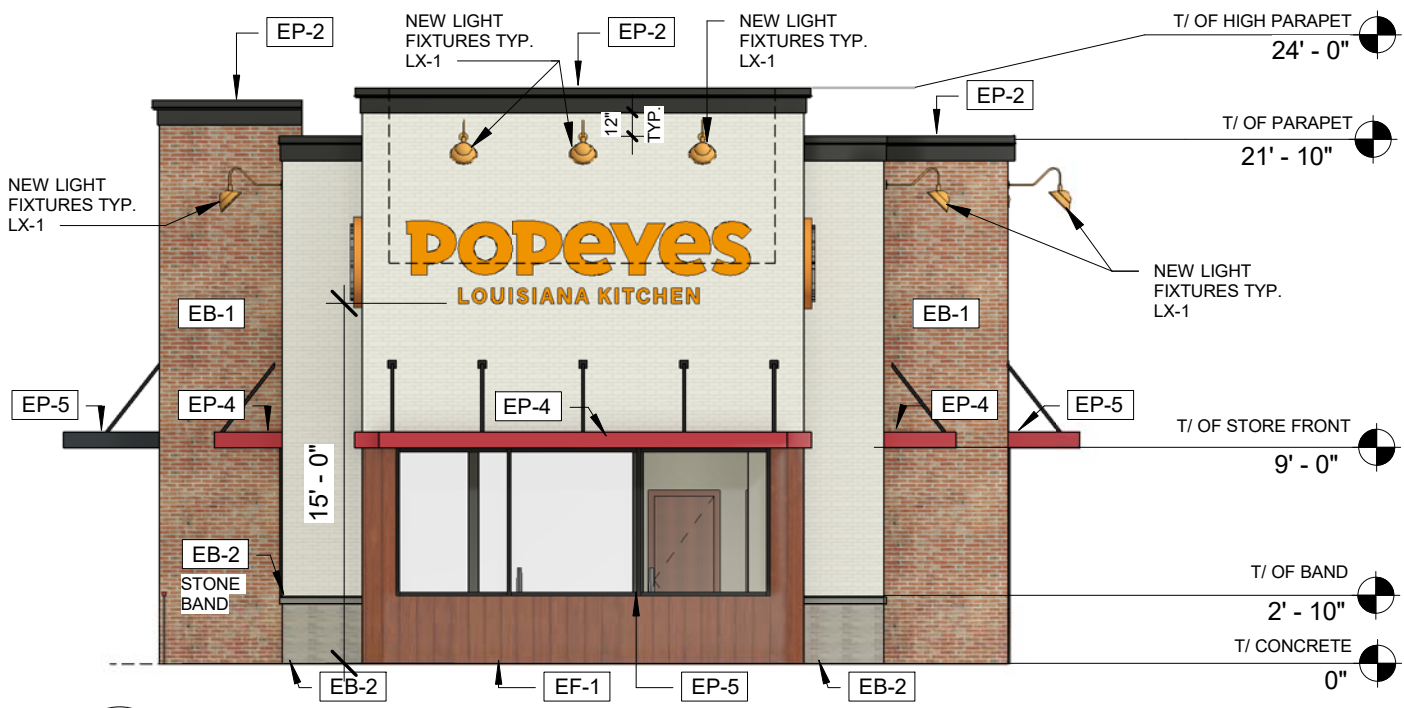
aka atul karkhanis architects, ltd.
Commercial • Educational • Residential • Healthcare
2514 WEST PETERSON AVENUE
CHICAGO, IL 60659
PHONE: 773.508.5533 FAX: 773.508.5757
www.akarchitects.com



2 PROPOSED EXTERIOR ELEVATION - NORTH
A-3 1/8" = 1'-0"

NOTES

FOR SIGNAGE INFO REFER TO SIGNAGE PACKAGE,
FOR LOREN INDUSTRIES SPECIFICATIONS



1 PROPOSED EXTERIOR ELEVATION - WEST
A-3 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- | | | |
|---|---|---------------|
| BRICK (EB-1)
BRICK
COLOR: FLAGSTAFF | EIFS TRIM- PAINTED (EP-1)
-
COLOR: - | SHUTTERS
- |
| THIN BRICK (EB-2)
GLEN-GERY
COLOR: STONE GREY K-12-3009 | EXTERIOR PAINT (EP-2)
BENJAMIN MOORE
BLACK IRON | DOORS
- |
| THIN BRICK (EB-3)
GLEN-GERY
COLOR: ASPEN WHITE S804 | EXTERIOR PAINT (EP-4)
BENJAMIN MOORE
EXOTIC RED | |
| WOOD FINISH (EF-1)
WOODEN SIDING PANEL
CEDAR | METAL / PAINT (EP-5)
- | |
| | FACTORY FINISH BLACK | |



POPEYES LOUISIANA KITCHEN
12360 ROUTE-47
HUNTLEY, IL 60142
PROPOSED EXTERIOR ELEVATIONS N+W
Scale As indicated
Date: 05/01/2020
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aka atul karkhanis architects, ltd.
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www.akarchitects.com

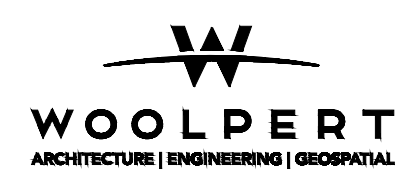
SITE DEVELOPMENT PLANS POPEYE'S RESTAURANT-HUNTLEY

12360 ILLINOIS ROUTE 47 - LOT 3 HUNTLEY CROSSINGS
HUNTLEY, KANE COUNTY, ILLINOIS 60142
APRIL 2020

HZ PROPS RE, LTD.

4415 HIGHWAY 6, SUGARLAND, TEXAS, 77478

CONTACT: AMIN DHANANI
PHONE: 281.201.2700



1815 South Meyers Road
Suite 950
Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731

BENCHMARK:

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK.

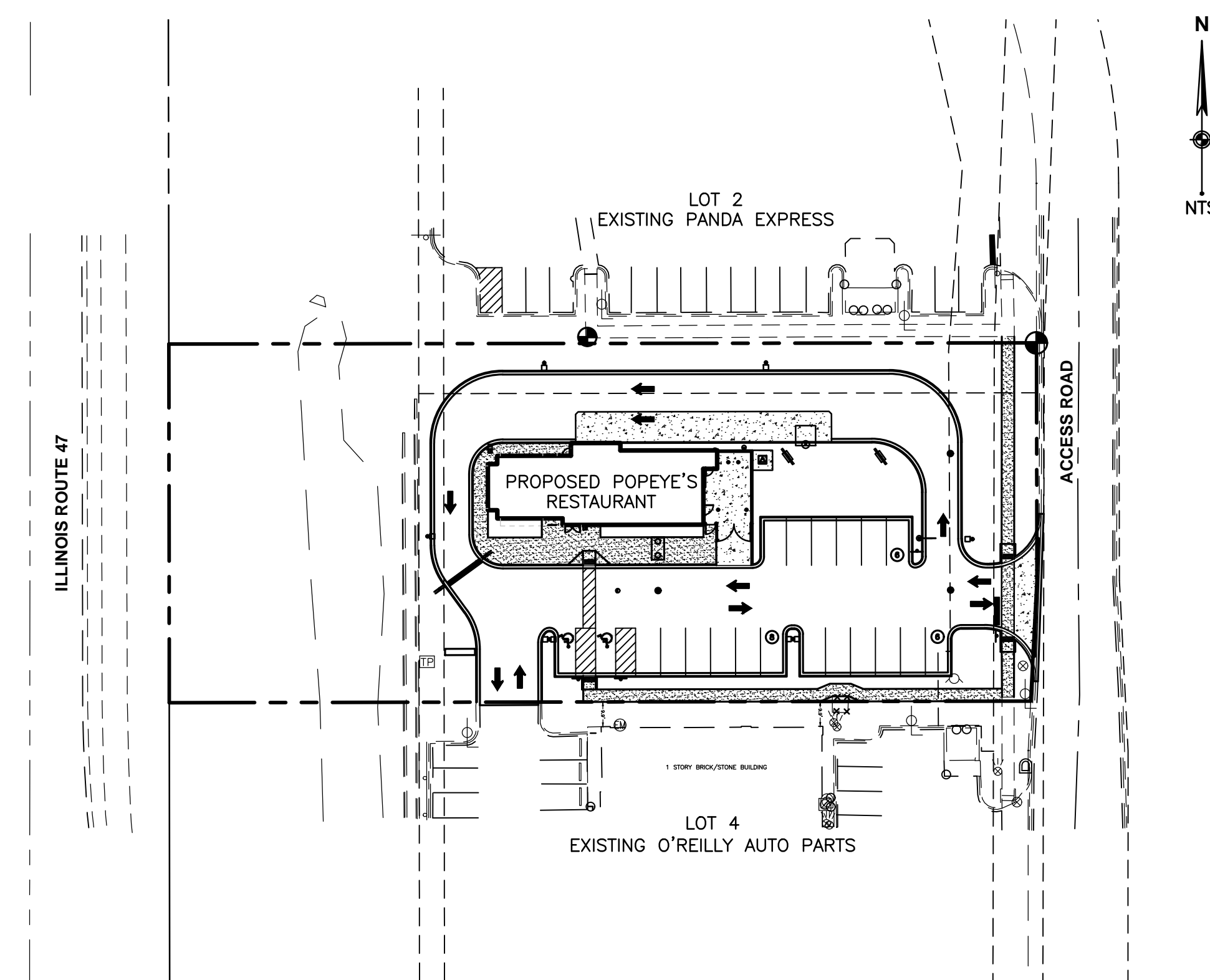
BENCHMARK #1: 5/8" REBAR FOUND AT THE NORTHEAST PROPERTY CORNER.
ELEVATION = 889.44'

BENCHMARK #2: CUT CROSS CHISELED 'X' FOUND AT THE CORNER OF EXISTING CONCRETE WALK ALONG NORTH PROPERTY LINE.
ELEVATION = 889.26'

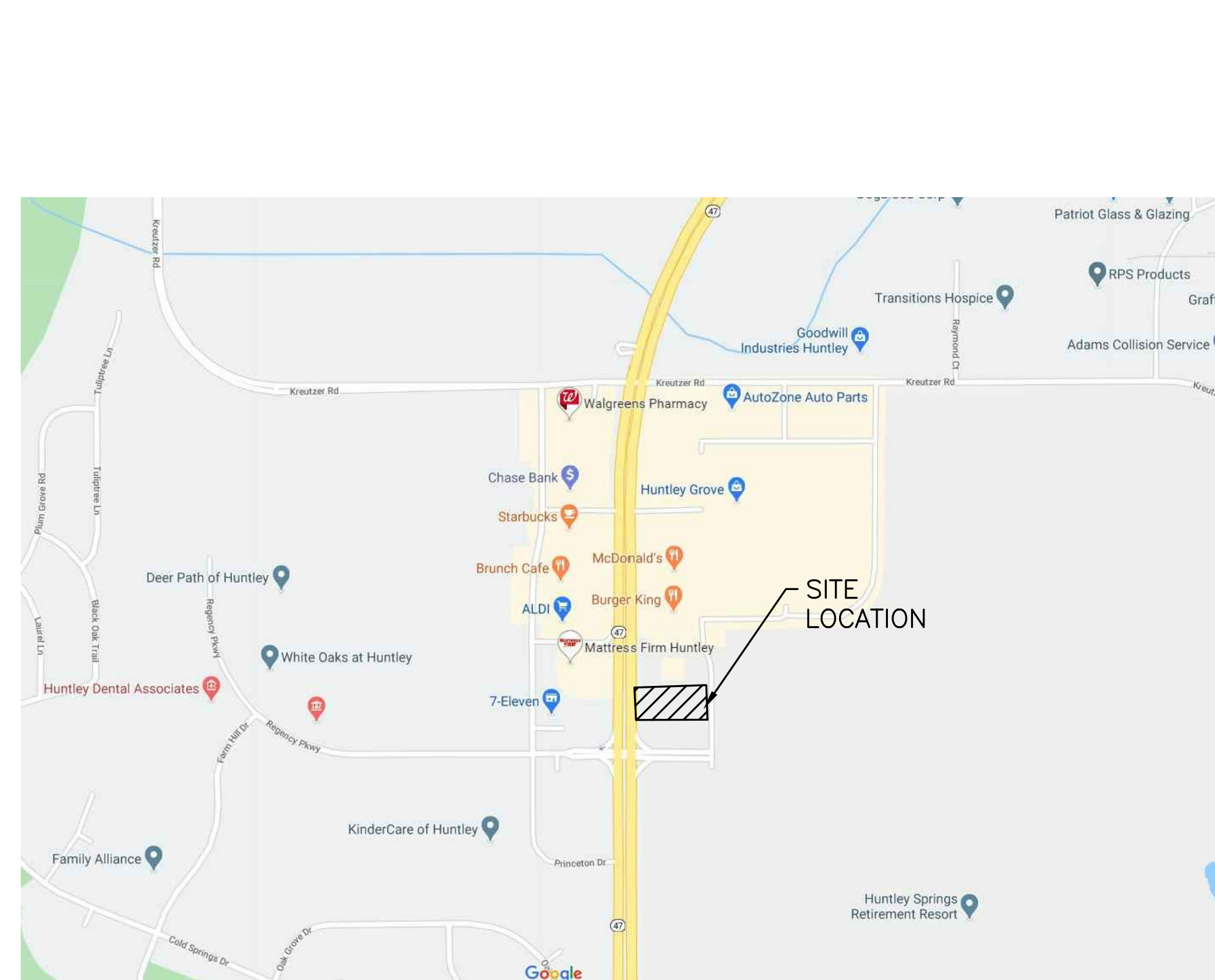
THE EXISTING CONDITIONS SHOWN ARE BASED UPON A SURVEY PREPARED BY WOOLPERT, INC. AND DATED 01/21/2020



SITE PLAN



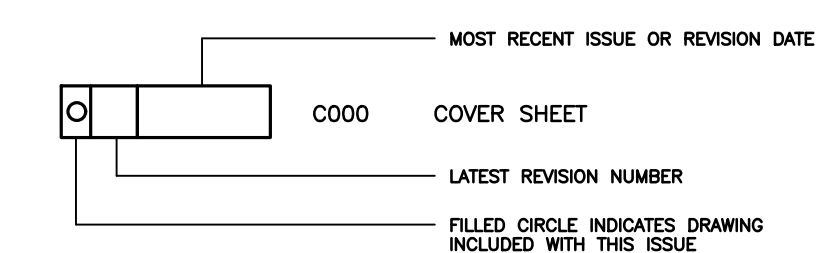
VICINITY MAP



SHEET INDEX

No.	DATE	REVISION
● -	04/03/20	C000..... COVER SHEET
● -	04/03/20	C001..... GENERAL NOTES
● -	04/03/20	C002..... GENERAL NOTES
● -	04/03/20	C100..... EXISTING CONDITIONS - DEMO PLAN
● 1	05/01/20	C200..... SITE PLAN
● 1	05/01/20	C300..... GRADING PLAN
● 1	05/01/20	C301..... EROSION CONTROL PLAN
● -	04/03/20	C302..... EROSION CONTROL DETAILS
● 1	05/01/20	C400..... UTILITY PLAN
● 1	05/01/20	C500..... LANDSCAPE PLAN
● -	04/03/20	C600..... DETAILS
● -	04/03/20	C601..... DETAILS
● 1	05/01/20	C700..... PHOTOMETRIC PLAN

DRAWING INDEX LEGEND



No.	DATE	REVISION
1	05/01/20	REVISED PER VILLAGE COMMENTS
	04/03/20	ISSUED FOR PERMIT REVIEW

PROJECT No.: 080349

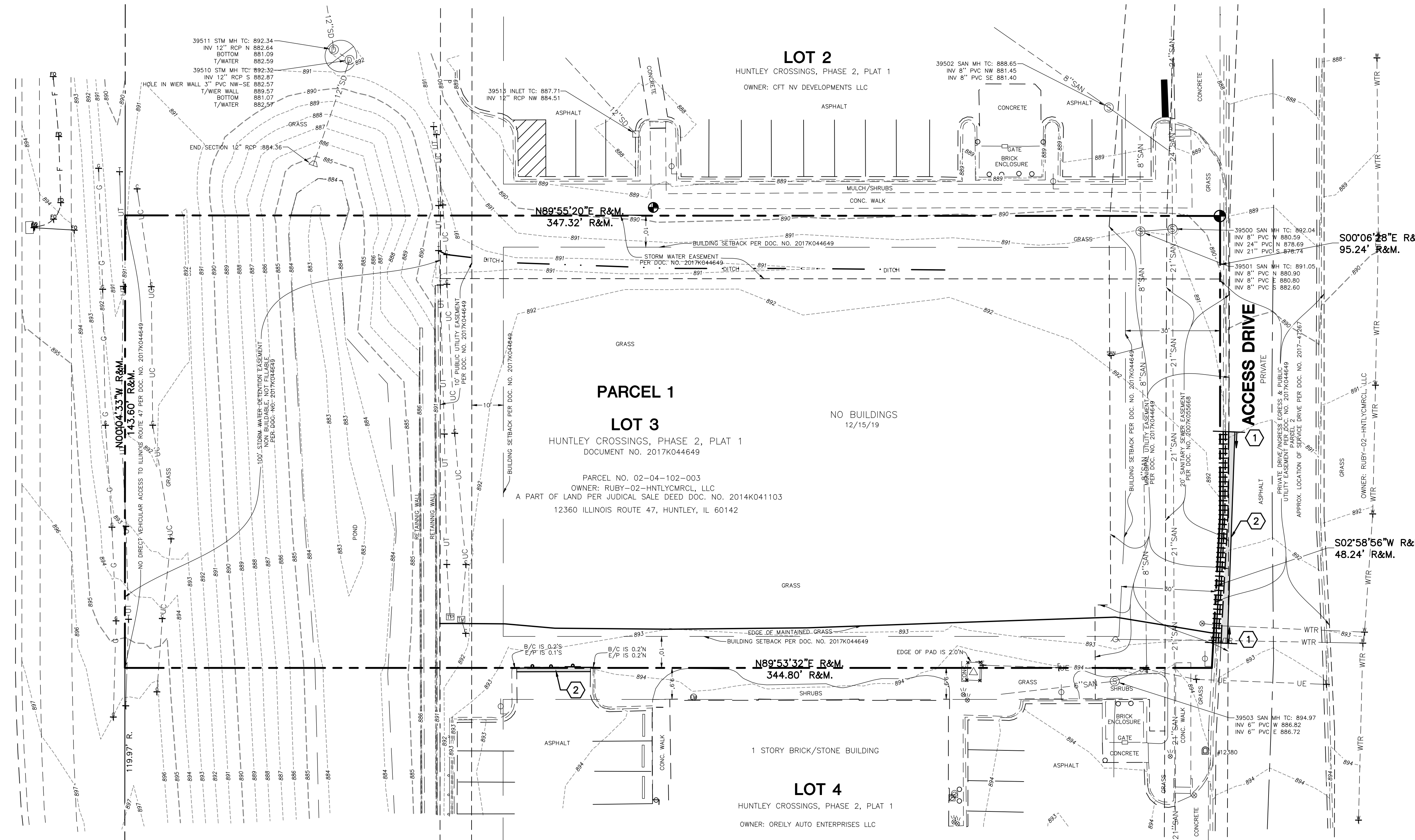


C000

SEAL DATE: 5/1/20 EXP: 11/2021

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ILLINOIS ROUTE 47
PUBLIC R.O.W.



EXISTING LEGEND

- ⊙ STORM MANHOLE
- ⊕ CURB INLET
- ⊖ CATCH BASIN
- ⊙ FIRE HYD.
- ⊕ WATER VALVE
- ⊕ WATER MANHOLE
- ⊕ SPRINKLER CONTROL VALVE
- ⊕ GAS METER
- ⊕ ELEC. TRANSFORMER
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ CLEANOUT
- ⊕ UTILITY POLE
- ⊕ LIGHT POLE
- ⊕ GUY WIRE
- ⊕ TELEPHONE PEDESTAL
- ⊕ TRAFFIC SIGNAL PULL BOX
- ⊕ SANITARY MANHOLE
- ⊕ SIGN
- UE --- UNDERGROUND ELECTRIC
- G --- UNDERGROUND GAS
- SD --- STORM
- SAN --- SANITARY
- WTR --- WATER
- --- EXISTING CURB (AND GUTTER)
- TC TOP OF CASTING

DEMOLITION LEGEND

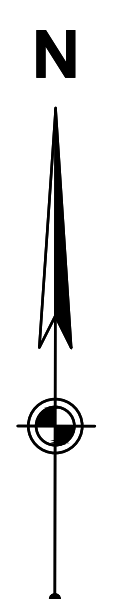
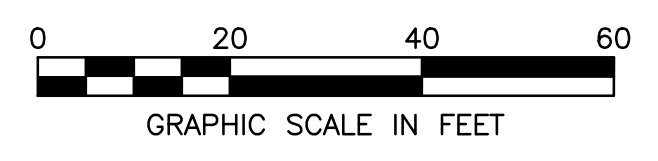
- 1 SAWCUT AND REMOVE EXISTING CURB AND GUTTER
- 2 2' EDGE CUT AND MILL FOR SMOOTH PAVEMENT TRANSITION

DEMOLITION NOTES

- EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE PRESENCE AND LOCATION OF THE EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING PROBING OR CONSTRUCTION.
- CALL J.U.L.I.E. (1-800-892-0123) FOR EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF UTILITIES ON SITE OR CROSSING THE SITE TO SERVICE ADJACENT PROPERTIES. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY OWNER OR OTHERS, DURING OCCUPIED HOURS, EXCEPT WHEN PERMITTED BY OTHERS.
- DEMOLISH AND COMPLETELY REMOVE FROM SITE, EXISTING UNDERGROUND UTILITIES INDICATED TO BE REMOVED. COORDINATE WITH UTILITY COMPANIES FOR SHUT-OFF OF SERVICES, IF LINES ARE ACTIVE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, GRAVEL, AND ANY OTHER MATERIALS TRACKED ONTO ANY PUBLIC OR PRIVATE STREETS OR SIDEWALKS. THE CONTRACTOR MUST USE WATER OR OTHER METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- PAVEMENT DAMAGED DUE TO THE REMOVAL OF EXISTING CURB SHALL BE SAWCUT, REMOVED AND REPLACED IN KIND.
- A FULL DEPTH SAWCUT SHALL BE PROVIDED IN ALL AREAS WHERE PROPOSED PAVEMENT OR CURB AND GUTTER MEETS EXISTING PAVEMENT.
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF BENCHMARKS PRIOR TO THE START OF CONSTRUCTION.

BENCHMARK:

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK.
 BENCHMARK #1: 5/8" REBAR FOUND AT THE NORTHEAST PROPERTY CORNER.
 ELEVATION = 889.44'
 BENCHMARK #2: CUT CROSS CHISELED 'X' FOUND AT THE CORNER OF EXISTING CONCRETE WALK ALONG NORTH PROPERTY LINE.
 ELEVATION = 889.26'
 THE EXISTING CONDITIONS SHOWN ARE BASED UPON A SURVEY PREPARED BY WOOLPERT, INC. AND DATED 01/21/2020



REVISION	No.	DATE

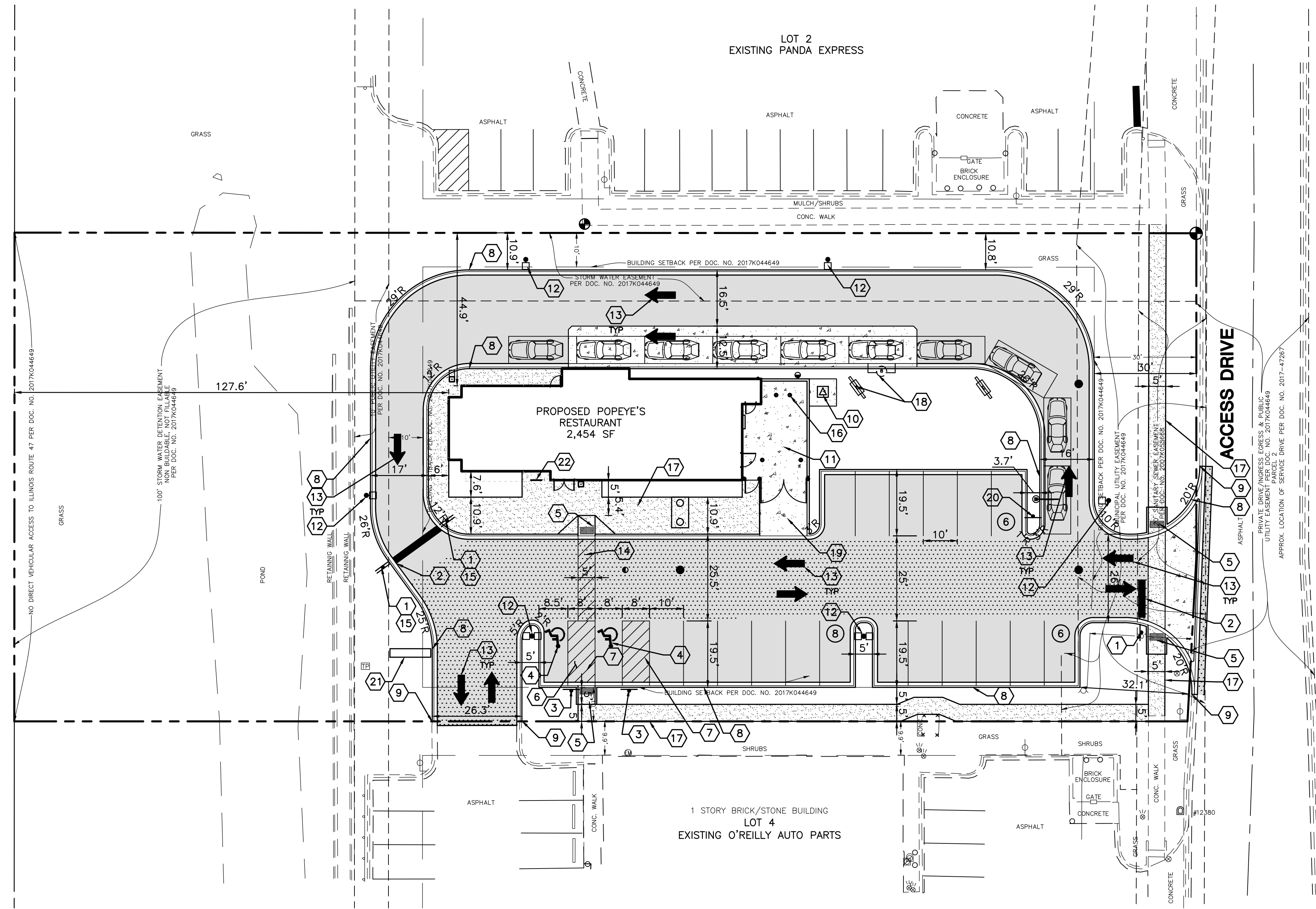
PROJECT No:	080349
DATE	04/03/20
DES. TH	
DR. TH	
CKD. RW	

1815 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
WOOLPERT
 ARCHITECTURAL ENGINEERING (CORPORATE)

12360 ILLINOIS ROUTE 47 - LOT 3 HUNTLEY CROSSINGS
 HUNTLEY, KANE COUNTY, ILLINOIS 60142

EXISTING CONDITIONS - DEMO PLAN

SHEET NO.
C100



SITE LEGEND

- INDICATES LIGHT DUTY PAVEMENT—SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES HEAVY DUTY PAVEMENT—SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES NEW CONCRETE PAVEMENT—SEE DETAILS FOR PAVEMENT COMPOSITION
- INDICATES NEW CONCRETE SIDEWALK—SEE DETAILS
- LIGHT POLES
- EXISTING CURB AND GUTTER
- PROPOSED STANDARD CURB AND GUTTER
- PROPOSED REVERSE PITCH CURB AND GUTTER
- INDICATES ROW PARKING COUNT
- INDICATES PARKING TOTAL FOR SURROUNDING AREA
- PROPERTY BOUNDARY

SITE KEY NOTES

- NO. DESCRIPTION
- 1 "STOP" SIGN, R1-1
- 2 24" WIDE STOP BAR, TRAFFIC WHITE PAINT
- 3 ACCESSIBLE PARKING SIGN
- 4 ACCESSIBLE PARKING SYMBOL
- 5 ACCESSIBLE RAMP WITH DETECTABLE WARNING
- 6 ACCESSIBLE PARKING SPACES & THEIR ACCESS AISLES SHALL BE 2% MAX. SLOPE IN ALL DIRECTIONS
- 7 PAINT 4" WIDE STRIPES @ 2'-0" O.C. @ 45° ANGLE, TRAFFIC YELLOW PAINT
- 8 CURB AND GUTTER
- 9 BEGIN/END PROPOSED CURB AND GUTTER. SAWCUT EXISTING CURB TO PROVIDE CLEAN CONSTRUCTION JOINT.
- 10 CONCRETE TRANSFORMER PAD
- 11 DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
- 12 LIGHT POLE LOCATION
- 13 DIRECTIONAL ARROW, TRAFFIC WHITE PAINT
- 14 CROSSWALK, PAINT 12~4" WIDE STRIPES AT 2' O.C. CENTERED ON ENTRY, TRAFFIC WHITE PAINT
- 15 "DO NOT ENTER" SIGN
- 16 CONCRETE BOLLARDS
- 17 CONCRETE SIDEWALK
- 18 DRIVE-THRU MENU BOARD AND EQUIPMENT
- 19 DUMPSTER RAMP
- 20 "DRIVE-THRU ONLY" SIGN
- 21 PROPOSED MONUMENT SIGN
- 22 BIKE RACK

SITE DATA

PROPOSED SITE AREA	1.143 ACRES
ZONING	B-3 PUD (SHOPPING CENTER BUSINESS DISTRICT)
PIN	02-04-102-003
BUILDING DATA:	
BUILDING AREA	2,454 SQ. FT.
PARKING DATA:	
SPACES REQUIRED	20 (1 SPACE/3 SEATS)
SPACES PROVIDED	20
ACCESSIBLE SPACES REQUIRED	2
ACCESSIBLE SPACES PROVIDED	2

SITE NOTES

- ALL DIMENSIONS, RADII AND COORDINATES ARE TO BACK OF CURB WHERE APPLICABLE. ALL RADII SHALL BE 4' UNLESS INDICATED OTHERWISE.
- ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS INDICATED OTHERWISE.
- ALL CURB & GUTTER SHALL BE B6.12, UNLESS NOTED OTHERWISE (SEE DETAILS).
- ADA DETECTABLE WARNINGS/TRUNCATED DOMES TO BE PROVIDED AT SIDEWALKS ON EITHER SIDE OF EACH DRIVEWAY CROSSING.
- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

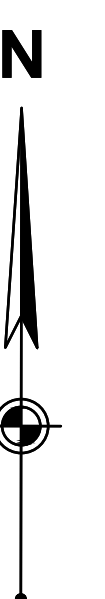
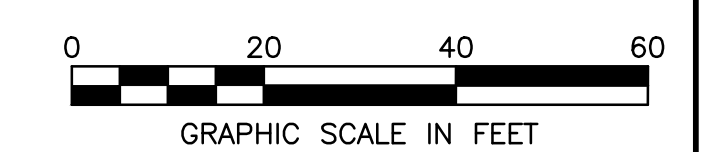
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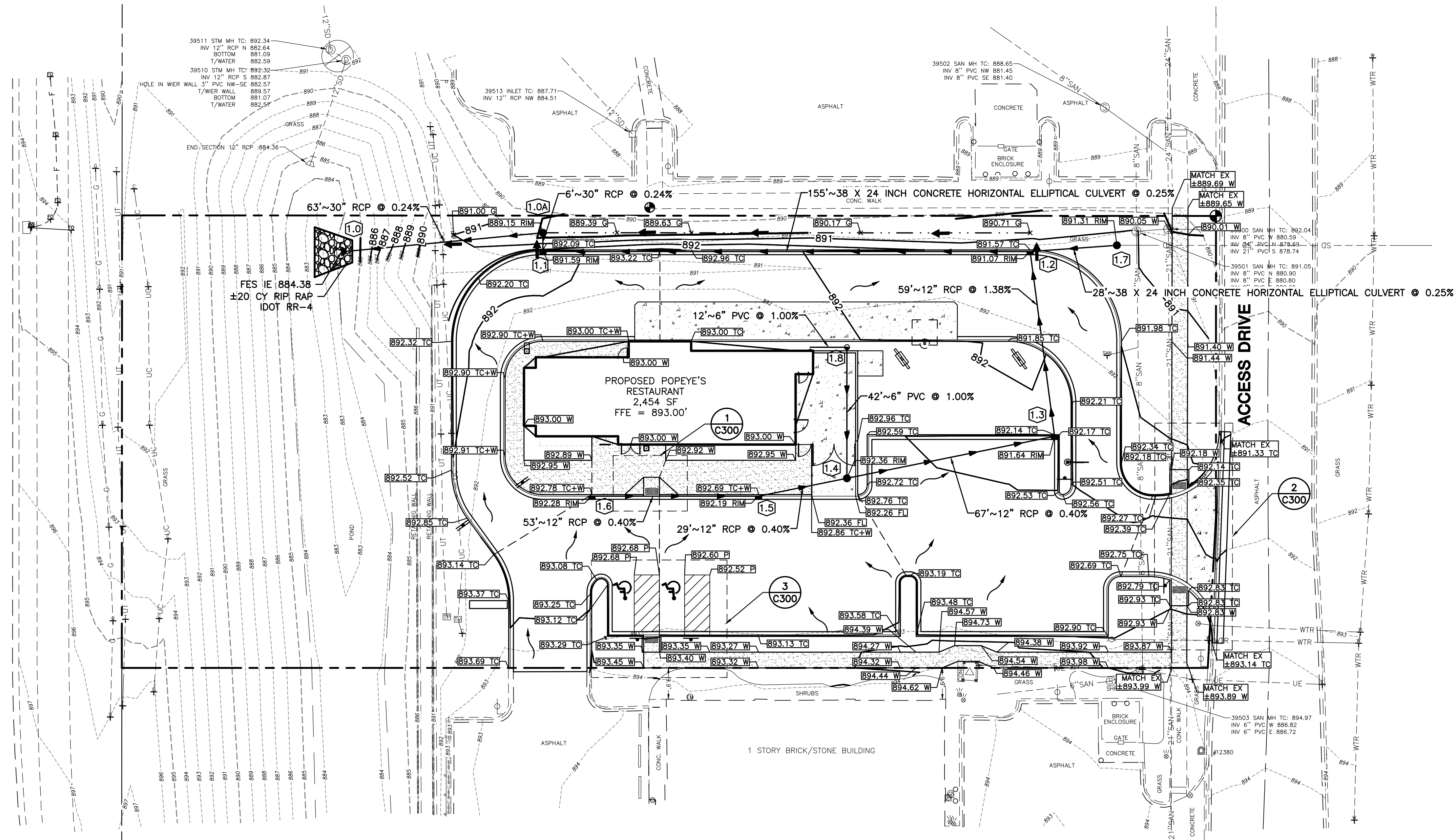
1815 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
 630.424.9080
 FAX: 630.495.3731

WOOLPERT
 ARCHITECTURAL ENGINEERING (CORPORATE)

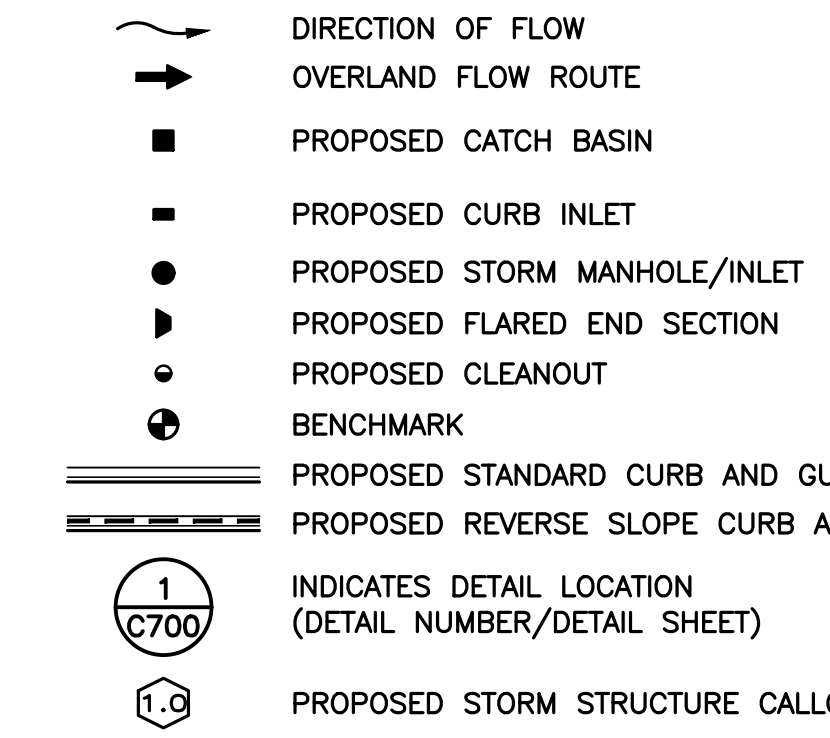
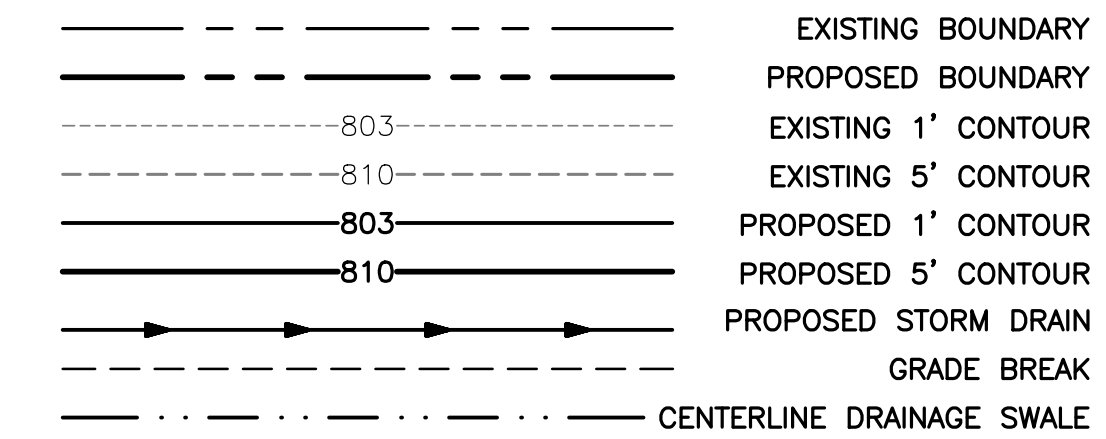
SITE DEVELOPMENT PLANS
POPEYE'S RESTAURANT - HUNTLEY
 12360 ILLINOIS ROUTE 47 - LOT 3 HUNTLEY CROSSINGS
 HUNTLEY, KANE COUNTY, ILLINOIS 60142

SITE PLAN

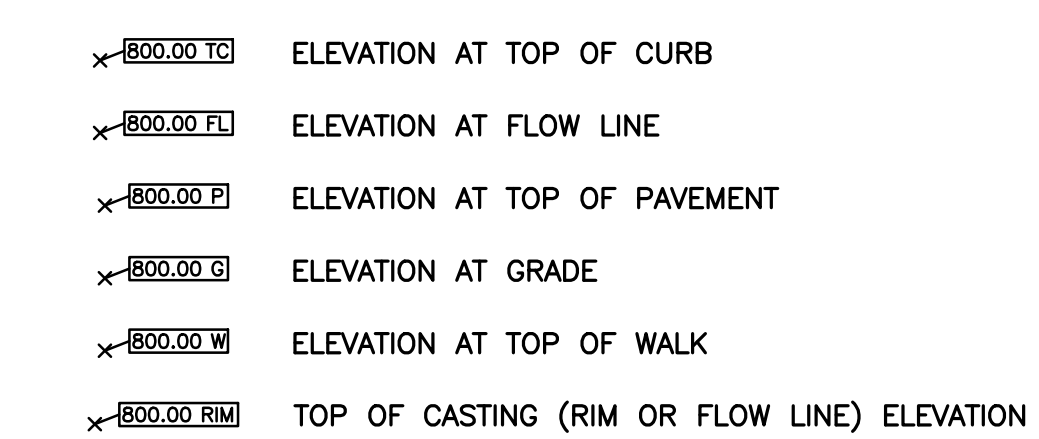
SHEET NO.
C200



GRADING LEGEND



PROPOSED ELEVATIONS LEGEND



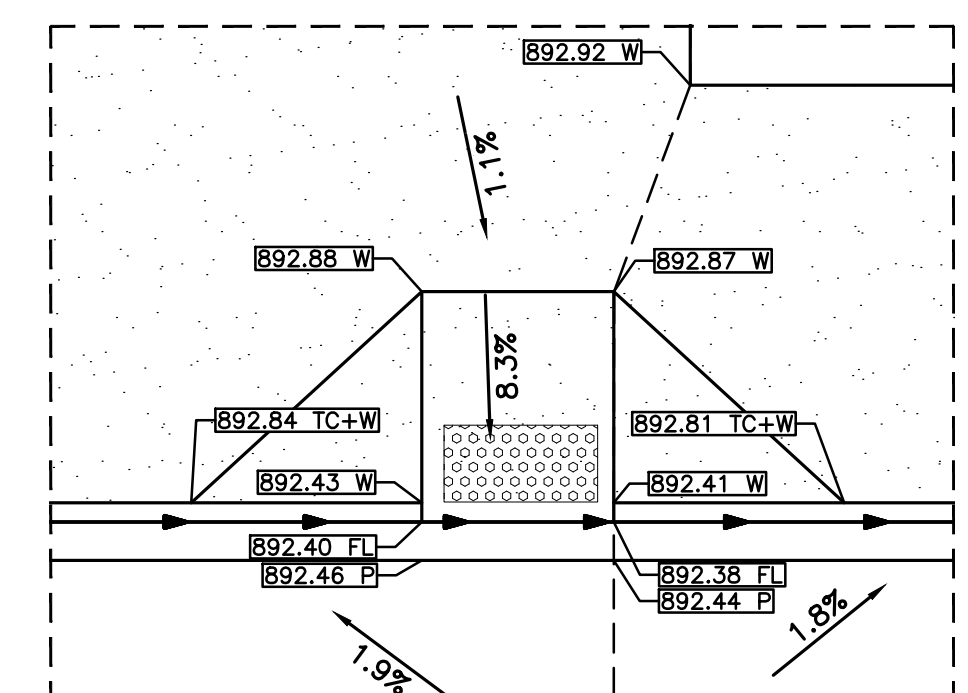
EXISTING ELEVATIONS LEGEND



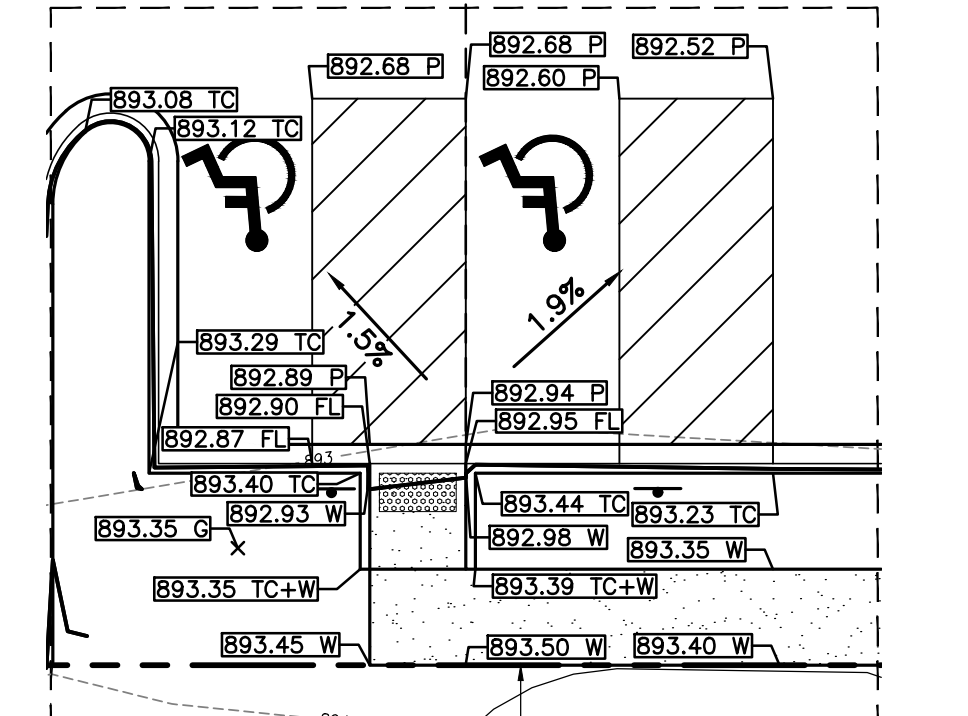
STORM STRUCTURE TABLE

STRUCTURE ID	DESCRIPTION	RIM/GRATE	INVERT
1.0	30" FLARED END SECTION		30" = 884.38 (E)
1.0A	72" DIA STORM MH WITH 2' SUMP	889.15	30" = 884.53 (S) 30" = 884.53 (W)
1.1	72" DIA CATCH BASIN WITH CURB GRATE	891.59	38" = 884.54 (E) 30" = 884.54 (N)
1.2	72" DIA CATCH BASIN WITH CURB GRATE	891.07	12" = 886.61 (S) 38" = 884.93 (W) 38" = 884.93 (E)
1.3	48" DIA CATCH BASIN WITH CURB GRATE	891.64	12" = 887.42 (W) 12" = 887.42 (N)
1.4	48" DIA STORM MANHOLE	892.36	12" = 887.69 (W) 12" = 887.69 (E) 6" = 887.76 (N)
1.5	48" DIA CATCH BASIN WITH CURB GRATE	892.19	12" = 887.81 (W) 12" = 887.81 (E)
1.6	24" DIA INLET	892.28	12" = 888.02 (E)
1.7	72" DIA STORM MANHOLE, TYPE A	891.31	38" = 885.00 (E) 38" = 885.00 (W)
1.8	CLEAN OUT	892.67	6" = 888.10 (W) 6" = 888.18 (S)

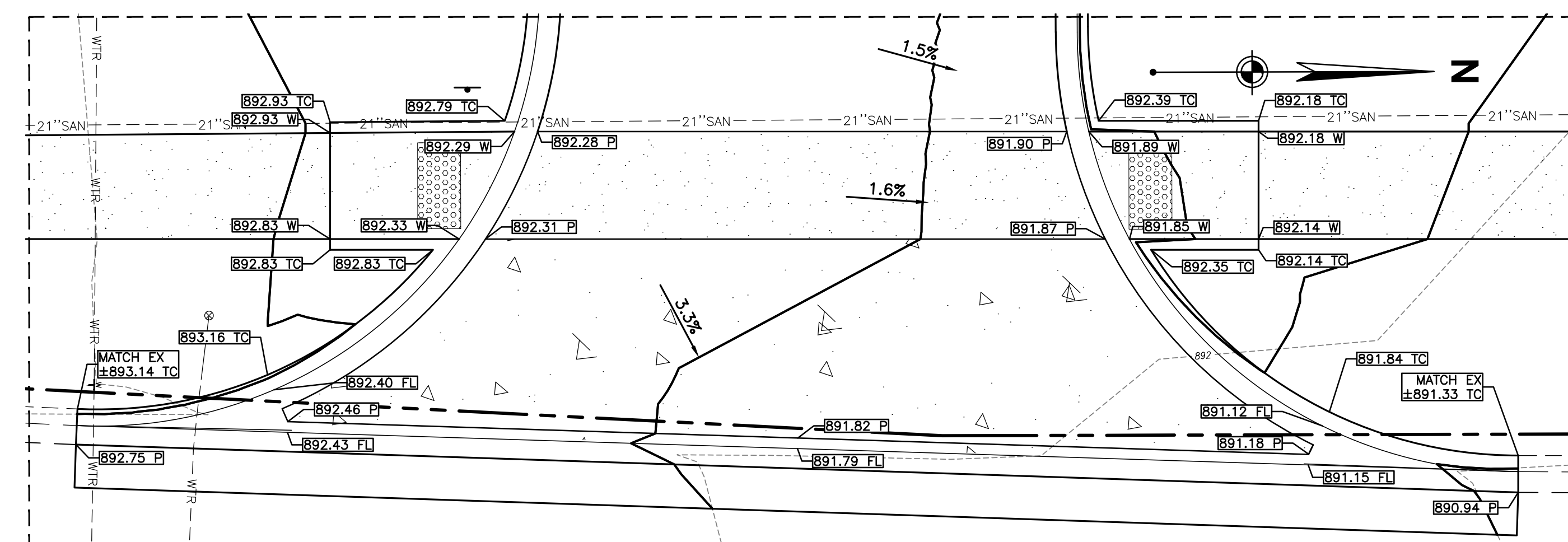
*NOTE: CONTRACTOR TO VERIFY EXISTING INVERT PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.



1 ADA RAMP DETAIL
 SCALE: 1" = 5'



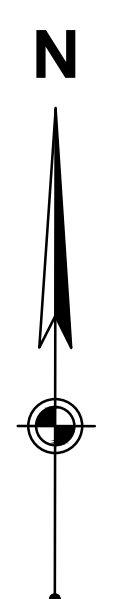
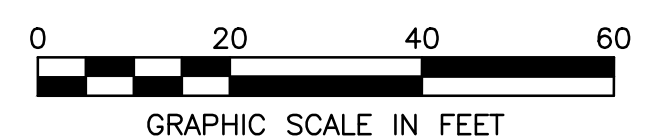
3 ADA PARKING AND RAMP DETAIL
 SCALE: 1" = 10'



1 ENTRANCE DETAIL
 SCALE: 1" = 5'

BENCHMARK:

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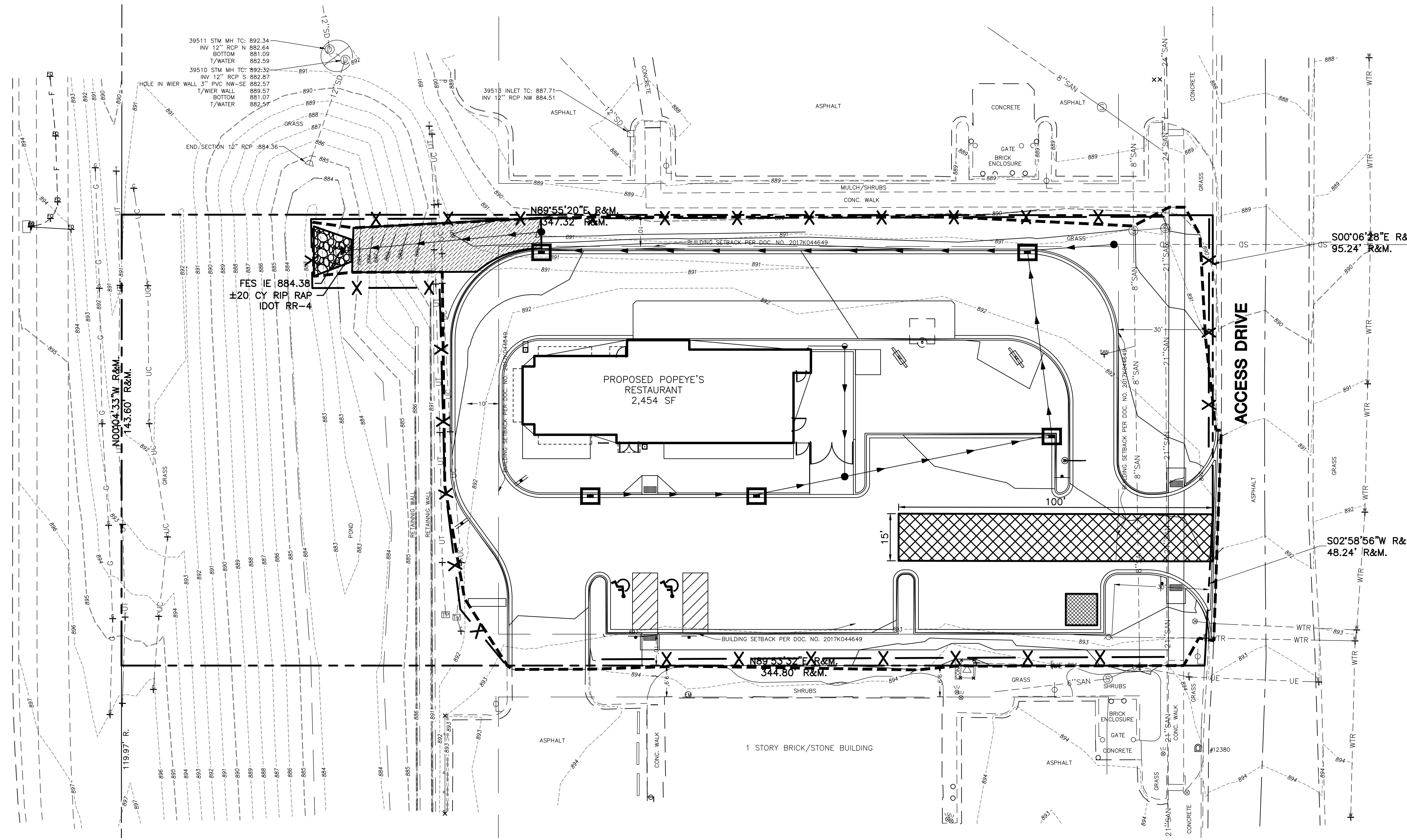
1815 South Meyers Road
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 Oakbrook Terrace, IL 60181
WOOLPERT
 ARCHITECTURAL ENGINEERING (INCORPORATED)
 FAX: 630.495.3731

SITE DEVELOPMENT PLANS
POPEYE'S RESTAURANT - HUNTLEY
 12360 ILLINOIS ROUTE 47 - LOT 3 HUNTLEY CROSSINGS
 HUNTLEY, KANE COUNTY, ILLINOIS 60142

GRADING PLAN

SHEET NO. **C300**





AREA SUMMARY
 TOTAL SITE AREA = 1.143 ACRES
 DISTURBED AREA = 0.80 ACRES

BENCHMARK:

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EROSION CONTROL LEGEND

- X SILT FENCE
- [Cross-hatched box] STABILIZED CONSTRUCTION ENTRANCE
- [Dotted box] TEMPORARY CONCRETE WASHOUT
- [Square with 'I'] INLET PROTECTION
- [Square with 'C'] CURB INLET PROTECTION
- [Rip rap pattern] RIP RAP (SEE DETAIL)
- [Hatched box] EROSION CONTROL BLANKET
- CONSTRUCTION LIMITS

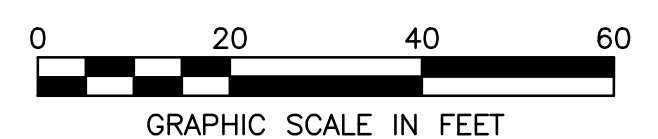
EROSION CONTROL NOTES

1. SOIL TRACKED OFF-SITE BY CONSTRUCTION VEHICLES SHALL BE REMOVED FROM THE PAVEMENTS AS DEEMED NECESSARY BY THE MUNICIPAL ENGINEER AND SHALL BE RETURNED TO THE SITE OR DISPOSED OF IN AN APPROVED MANNER.
2. INLET PROTECTION SHALL BE REMOVED AFTER THE SITE HAS BEEN PAVED AND ALL ISLANDS/GRASS AREAS HAVE BEEN MULCHED/SEEDED.
3. CONTRACTOR SHALL CLEAN ANY SEDIMENT THAT COLLECTS IN CHANNEL AND INLETS OR IS DEPOSITED ON-SITE PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
4. EROSION CONTROL DEVICES AS SHOWN ARE THE MINIMUM PROTECTION REQUIREMENTS. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE SITE IS PERMANENTLY STABILIZED. THE CONTRACTOR IS REQUIRED TO INSTALL ADDITIONAL DEVICES FOR PROTECTION AT HIS EXPENSE TO MINIMIZE EROSION PER LOCAL REQUIREMENTS.
5. CONTRACTOR SHALL PREVENT SEDIMENT FROM LEAVING THE SITE.
6. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
7. INSTALL ADDITIONAL CONTROL MEASURES IF DEEMED NECESSARY BY ONSITE INSPECTION.
8. CONTRACTOR SHALL ESTABLISH PERMANENT SOIL STABILIZATION.
9. INLET PROTECTION SHALL BE AN INLET PROTECTOR MANUFACTURED BY MAR-MAC OR IPP INLET FILTER OR APPROVED EQUAL.
10. SOIL STOCKPILES GREATER THAN 10 CUBIC YARDS MUST BE LOCATED AT LEAST 25' FROM ROADWAYS, DRAINAGE CHANNELS, WETLANDS, ETC.
11. ALL RIP RAP TO BE MIN. 6" DIAMETER (IDOT RR-4).
12. SIDE SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH AN EROSION CONTROL BLANKET BY THE SITE CONTRACTOR. EROSION CONTROL BLANKET SHALL BE TYPE SC150. STRAW/FIBER EROSION CONTROL BLANKET AS MANUFACTURED BY NORTH AMERICAN GREEN COMPANY, OR AN ENGINEER APPROVED EQUAL.

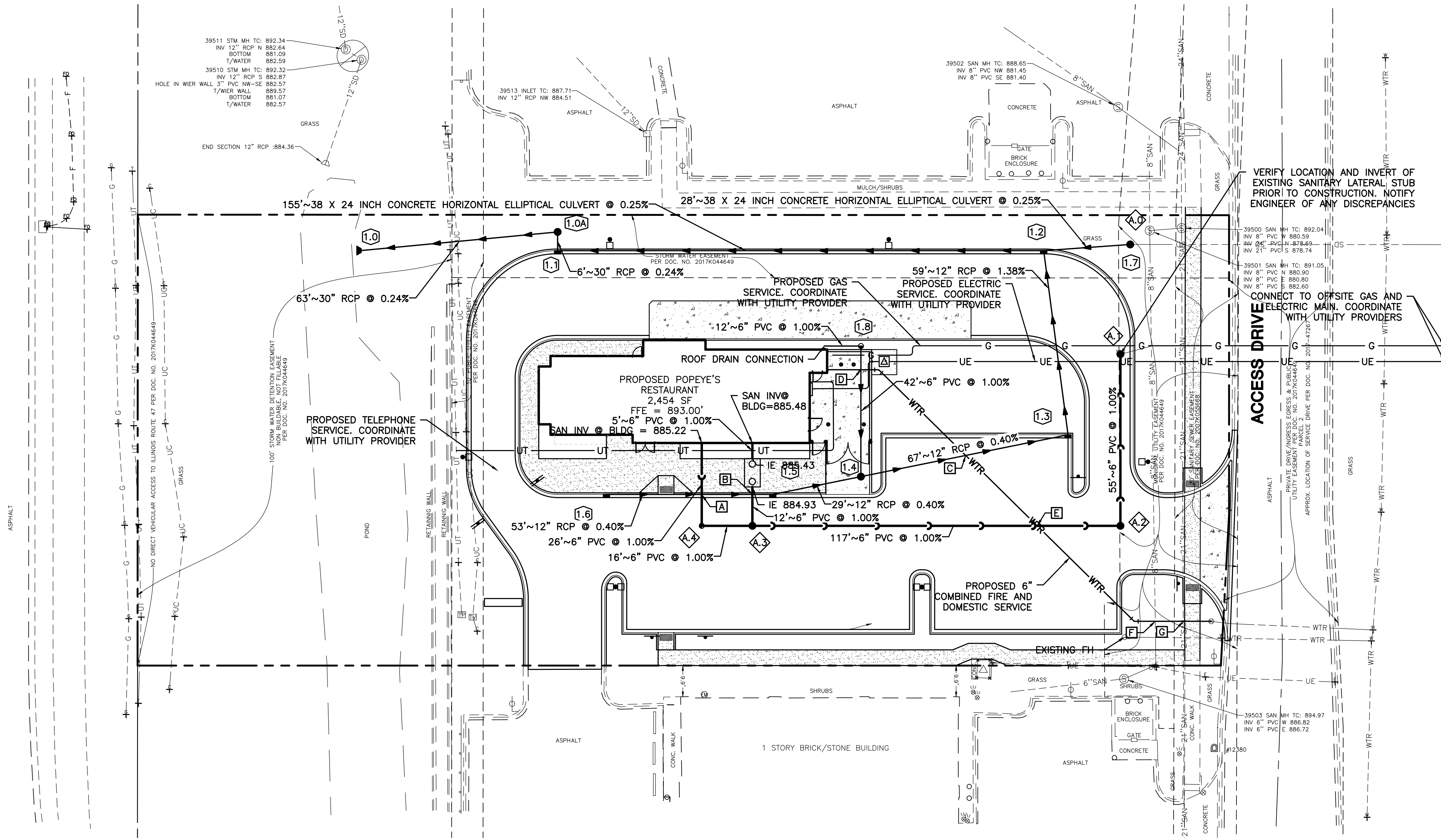
AT A MINIMUM, ALL EROSION AND SEDIMENTATION CONTROL PRACTICES ON-SITE SHALL BE INSPECTED IN ACCORDANCE WITH THE CURRENT IEPA NPDES ILR10 PERMIT, WHICH IS WEEKLY AND AFTER A ONE-HALF INCH (1/2") OR GREATER RAINFALL EVENT, AS OF THE REVISION DATE OF CHAPTER 59 OF THE STORMWATER MANAGEMENT ORDINANCE. ANY REQUIRED REPAIRS NEED TO BE MADE TO KEEP THESE PRACTICES FUNCTIONAL AS DESIGNED. RECORDS OF THESE INSPECTIONS AND CORRECTIVE ACTIONS TAKEN SHALL BE MAINTAINED ON FILE IN THE CONSTRUCTION OFFICE.

SEQUENCE OF MAJOR CONSTRUCTION ACTIVITIES

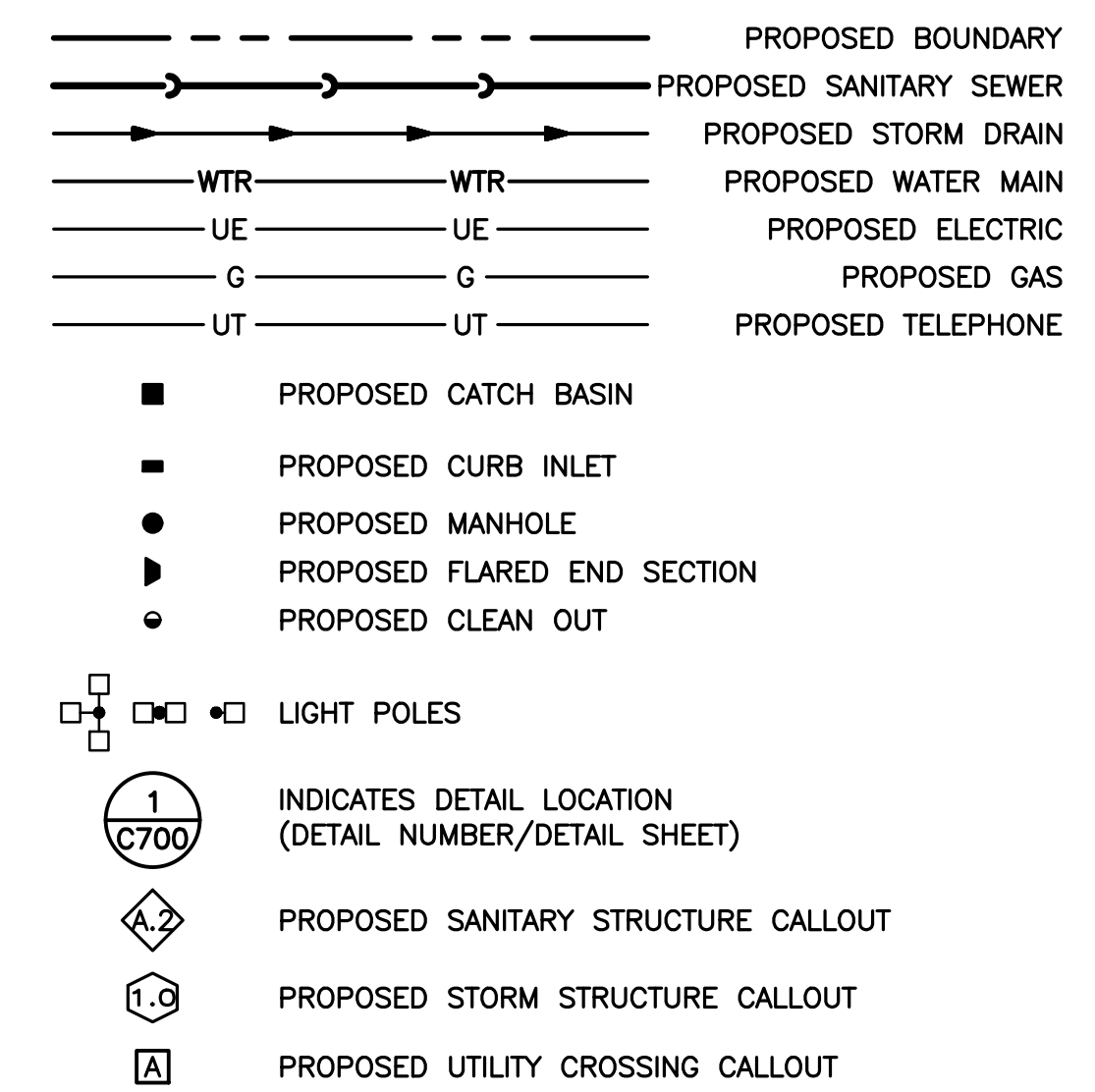
1. INSTALL PERIMETER SE/SC MEASURES SUCH AS SILT FENCE AND A STABILIZED CONSTRUCTION ENTRANCE.
2. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED AND WATERED. MAINTENANCE FOR SE/SC MEASURES MUST OCCUR EVERY TWO WEEKS AND AFTER EVERY 0.5-INCH OR GREATER RAINFALL EVENT.
3. INSTALL STORM SEWER, SANITARY SEWER, WATER AND ASSOCIATED INLET AND OUTLET PROTECTION (SEE DETAIL).
4. PERMANENTLY STABILIZE DETENTION BASINS WITH SEED AND EROSION CONTROL BLANKET.
5. TEMPORARILY STABILIZE ALL AREAS INCLUDING LOTS THAT HAVE REACHED TEMPORARY GRADE.
6. INSTALL CONCRETE AND ASPHALT PAVEMENT.
7. REMOVE ALL TEMPORARY SE/SC MEASURES.



<p>PROJECT No: 080349 DATE: 04/03/20</p>	<p>DES. TH: DR. TH: CKD. RW:</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>DATE</th> <th>REVISION</th> </tr> <tr> <td>1</td> <td>05/01/20</td> <td>PER VILLAGE COMMENTS</td> </tr> </table>	No.	DATE	REVISION	1	05/01/20	PER VILLAGE COMMENTS	<p>1815 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 630.424.9080 FAX: 630.495.3731</p>	<p>WOOLPERT ARCHITECTURAL ENGINEERING (CORPORATE)</p>
No.	DATE	REVISION								
1	05/01/20	PER VILLAGE COMMENTS								
<p>SITE DEVELOPMENT PLANS POPEYE'S RESTAURANT - HUNTLEY 12860 ILLINOIS ROUTE 47 - LOT 3 HUNTLEY CROSSINGS HUNTLEY, KANE COUNTY, ILLINOIS 60142</p>		<p>EROSION CONTROL PLAN</p>								
<p>SHEET NO.</p>		<p>C301</p>								



UTILITY LEGEND



STORM STRUCTURE TABLE

STRUCTURE ID	DESCRIPTION	RIM/GRATE	INVERT
1.0	30" FLARED END SECTION		30" = 884.38 (E)
1.0A	72" DIA STORM MH WITH 2' SUMP	889.15	30" = 884.53 (S) 30" = 884.53 (W)
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1.8	CLEAN OUT	892.67	6" = 888.10 (W) 6" = 888.18 (S)

SANITARY STRUCTURE TABLE

STRUCTURE ID	DESCRIPTION	RIM	INVERT
A.0	EXISTING SANITARY MANHOLE	891.05	8" = 880.80 (E)* 8" = 880.90 (N)* 8" = 882.60 (S)*
A.1	SANITARY MANHOLE	891.53	6" = 883.09 (NE)* 6" = 883.09 (S)
A.2	SANITARY MANHOLE	892.06	6" = 883.63 (W) 6" = 883.63 (N)
A.3	SANITARY MONITORING MANHOLE	892.33	6" = 884.80 (W) 6" = 884.80 (N) 6" = 884.80 (E)
A.4	CLEAN OUT	892.43	6" = 884.96 (N) 6" = 884.96 (E)

*NOTE: CONTRACTOR TO VERIFY EXISTING INVERT PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY NOTES

- 2~4" SCHEDULE 40 PVC CONDUIT FOR LOCATIONS UNDER PROPOSED PAVEMENT. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR ELECTRIC SERVICE AND TRANSFORMER LOCATION.
- CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR NATURAL GAS SERVICE.
- 1~4" SCHEDULE 40 PVC CONDUIT FOR LOCATIONS UNDER PROPOSED PAVEMENT. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR TELEPHONE SERVICE.
- CONTRACTOR SHALL CONTACT THE HUNTLEY FIRE PREVENTION BUREAU (847-669-8284) 48 HOURS IN ADVANCE TO SCHEDULE A HYDROSTATIC TEST OF THE UNDERGROUND 6-INCH FIRE SUPPRESSION LEAD-IN. BUREAU SHALL WITNESS HYDROSTATIC TEST AND FLUSH PRIOR TO ABOVE GROUND SPRINKLER SYSTEM CONNECTION. CONTRACTOR IS TO SUPPLY 3 COPIES OF NFPA PAPERWORK ON SITE.

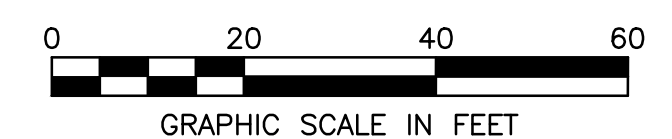
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 ELEVATION = 889.26'

THE EXISTING CONDITIONS SHOWN ARE BASED UPON A SURVEY PREPARED BY WOOLPERT, INC. AND DATED 01/21/2020



UTILITY CROSSINGS

- FINISH GRADE = 892.33
- A 12" STM B/PIPE = 887.73]-2.15'
 6" SAN T/PIPE = 885.58
- FINISH GRADE = 892.23
- B 12" STM B/PIPE = 887.66]-2.24'
 6" SAN T/PIPE = 885.42
- FINISH GRADE = 891.94
- C 12" STM B/PIPE = 887.39]-1.50'
 6" WTR T/PIPE = 885.89
- FINISH GRADE = 892.74
- D 6" STM B/PIPE = 888.08]-1.52'
 6" WTR T/PIPE = 886.56
- FINISH GRADE = 892.25
- E 6" WTR B/PIPE = 886.47]-1.81'
 6" SAN T/PIPE = 884.66
- FINISH GRADE = 892.99
- F 6" WTR B/PIPE = 887.09]-2.40'
 8" EXIST SAN T/PIPE = 884.69
- FINISH GRADE = 893.25
- G 6" WTR B/PIPE = 887.22]-6.33'
 21" EXIST SAN T/PIPE = 880.89

* LOWER WATER SERVICE AT CROSSING. PROVIDE WATER MAIN QUALITY PIPE TO 10' OF EITHER SIDE OF CROSSING

REVISION

No. DATE

1	05/01/20	PER VILLAGE COMMENTS
---	----------	----------------------

PROJECT No: 080349
 DATE 04/03/20
 DES. TH
 DR. TH
 CKD. RW

1815 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
 630.424.9080
 FAX: 630.495.3731



**SITE DEVELOPMENT PLANS
 POPEYE'S RESTAURANT - HUNTLEY**

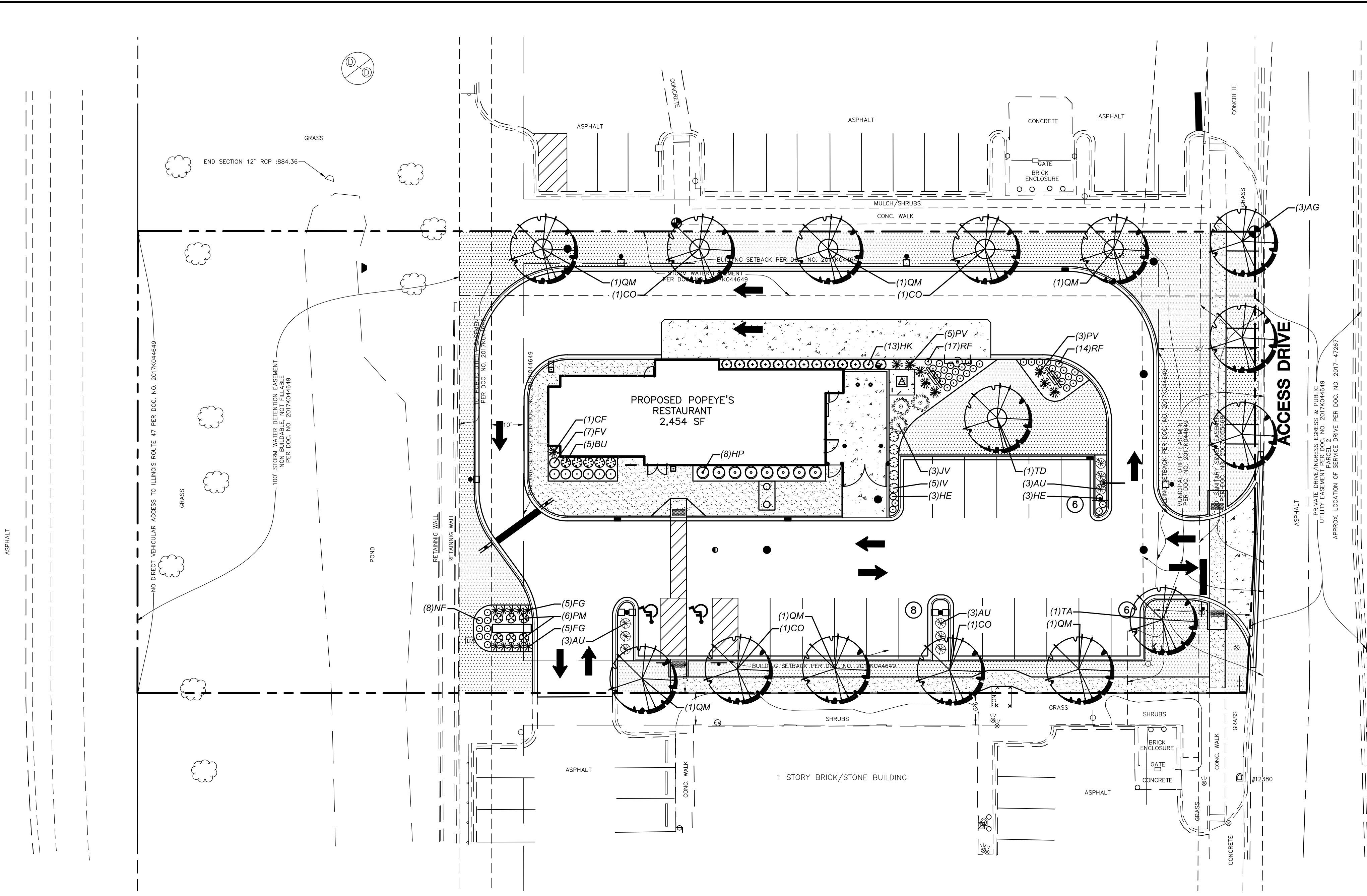
12360 ILLINOIS ROUTE 47 - LOT 3 HUNTLEY CROSSINGS
 HUNTLEY, KANE COUNTY, ILLINOIS 60142

UTILITY PLAN

SHEET NO.

C400

Layout Tab Name: C500 LANDSCAPE PLAN, Images: Capture.JPG, Xrefs: 080349 - X.dwg, 080349 - P.dwg, 080349 - TBLK.dwg
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LANDSCAPE NOTES

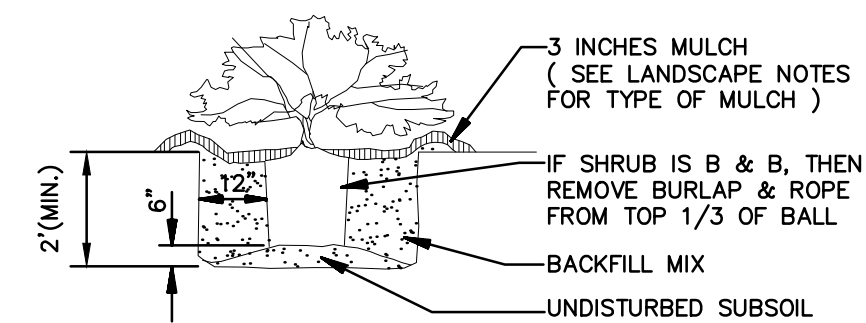
- LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES, PRIOR TO DIGGING, IS RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUB GRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR AND/OR CONSTRUCTION MANAGER.
- GENERAL AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY SITE WORK.
- ALL SHRUB AND GROUND COVER BEDS TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF CLEAN SHREDDED HARDWOOD MULCH.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. AMEND BACKFILL WITH TOPSOIL MIX. BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE. TOPSOIL MIX TO BE 4 PARTS SCREENED TOPSOIL AND 1 PART ORGANIC MATERIAL (i.e. NATURE'S HELPER OR PRO MIX).
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS. LIME AND FERTILIZER TO BE DISTRIBUTED PRIOR TO SPREADING SEED. ALL DISTURBED AREAS (INCLUDING RIGHT-OF-WAYS) NOT RECEIVING PLANTINGS TO RECEIVE 4 INCHES OF TOPSOIL AND SEEDED.
- ALL CHANGES TO DESIGN AND/OR PLANT SUBSTITUTIONS TO BE AUTHORIZED BY LANDSCAPE ARCHITECT.
- ALL PARKING ISLANDS TO BE BERMED UP 6"-10" WITH CLEAN FRIABLE TOPSOIL PRIOR TO PLANTING.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE AMERICAN STANDARD FOR NURSERY STOCK, AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH THE COST OF THE REPLACEMENT INCLUDED IN THE BID OR PROPOSAL PRICE.
- WATER THOROUGHLY TWICE IN THE FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.
- SITE TO BE 100% IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION DESIGN-BUILD AND PROVIDED BY CONTRACTOR FOR APPROVAL.

LANDSCAPE CODE SUMMARY

VILLAGE OF HUNTLEY
 CHAPTER 156: ZONING ORDINANCE
 LANDSCAPE ORDINANCE (156.151)
NON-RESIDENTIAL PROPERTY ABUTTING NON-RESIDENTIAL PROPERTY (156.151.G.7)
 PROVIDE ONE SHADE TREE FOR EVERY SEVENTY-FIVE (75) LINEAR FEET OF PROPERTY LINE
 NORTH BOUNDARY (347 LF)
 = 4.6 TREES REQUIRED
 = 5 TREES PROVIDED
 SOUTH BOUNDARY (345LVLF)
 = 4.6 TREES REQUIRED
 = 5 TREES PROVIDED
STREET LANDSCAPING (156.151.G.8)
 PROVIDE ONE SHADE TREE FOR EVERY FORTY (40) LINEAR FEET OF FRONTAGE
 ILLINOIS RT. 47 (144 LF)
 = 3.6 TREES REQUIRED
 = EXISTING TREES TO REMAIN WITHIN DIMENSION EASEMENT
 ACCESS DRIVE (115 LF)
 = 2.9 TREES REQUIRED
 = 3 TREES PROVIDED
RIGHT-OF-WAY LANDSCAPING REQUIREMENTS (156.151.G.9)
 ALL RIGHT-OF-WAYS SHALL BE IMPROVED WITH GRASS AND SHALL BE MAINTAINED
PARKING LOT LANDSCAPING (156.151.G.10)
 PROVIDE A MINIMUM OF FIVE PERCENT (5%) OF THE PARKING LOT AREA IN THE INTERIOR OF THE PARKING LOT AS LANDSCAPING. PROVIDE ONE CANOPY TREE FOR EVERY TEN PARKING SPACES.
 PARKING LOT AREA (18,121 SF)
 = 906 SF OF INTERIOR LANDSCAPE AREA REQUIRED
 = 2,320 SF OF INTERIOR LANDSCAPE AREA PROVIDED
 20 PARKING SPACES
 = 2 TREES REQUIRED
 = 2 TREES PROVIDED
REQUIRED LANDSCAPING (156.151.G.12)
 ZONING DISTRICT B-3: PROVIDE FIFTEEN PERCENT (15%) OF SITE AREA AS LANDSCAPE AREA
 SITE AREA (49,786 SF)
 = 7,468 SF LANDSCAPE AREA REQUIRED
 = 25,605 SF LANDSCAPE AREA PROVIDED

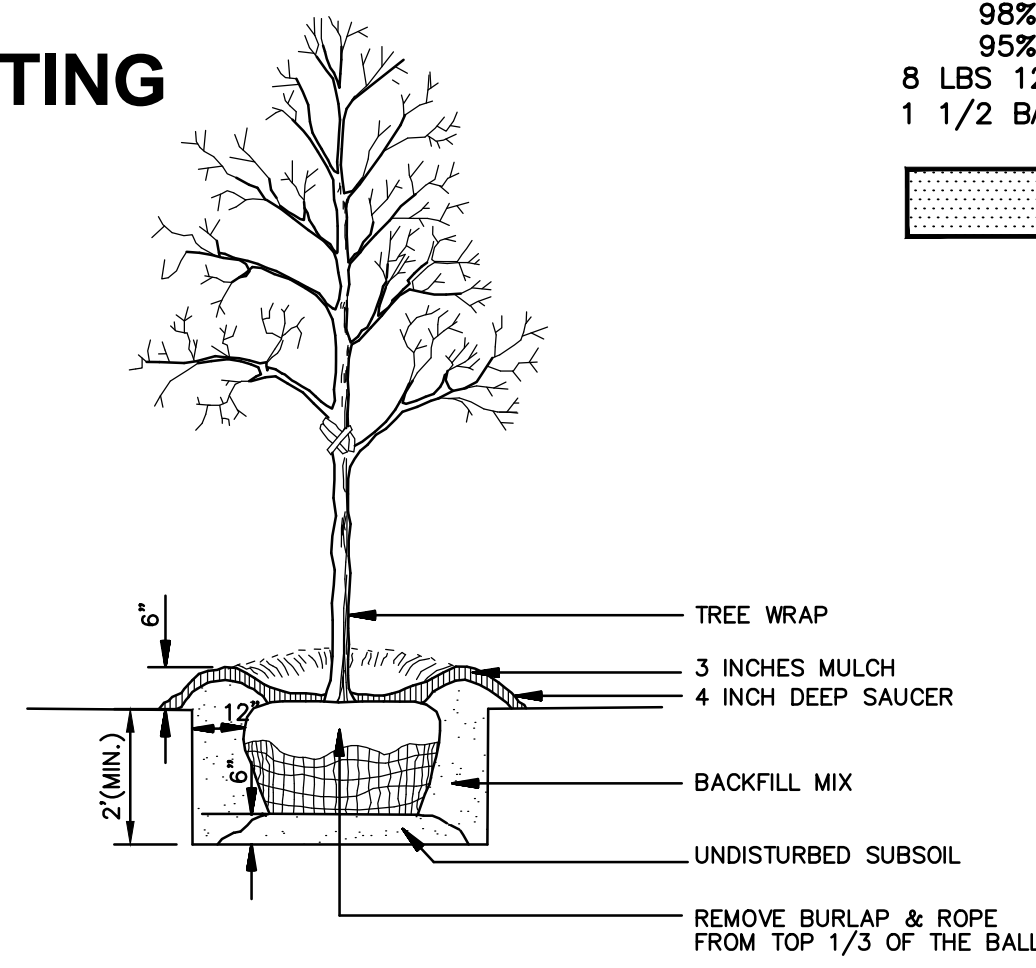
PERMANENT SEED BLEND

6 LBS PER 1000 SF
 90% FINE LEAF FESCUE (FESTUCA ARUNDINACEA)
 REBEL II, WRANGLER, BONANZA, MOJAVE OR EQUAL
 10% KENTUCKY BLUEGRASS (POA PRATENSIS)
 MIDNIGHT, RUGBY II, MIDIRON VARIETIES OR EQUAL
 98% PURITY AND 85% GERMINATION
 95% WEED FREE
 8 LBS 12-12-12 FERTILIZER PER 1000 SF
 1 1/2 BALES OF STRAW PER 1000 SF
 LAWN AREA (9,200 SF)



SHRUB PLANTING

N.T.S.



TREE PLANTING

N.T.S.

TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
SHADE TREE						
AG	3	Aesculus glabra	Ohio Buckeye	B&B	3" cal. 14'ht. 7'wd	Full, well shaped
CO	4	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry	B&B	3" cal. 14'ht. 7'wd	Full, well shaped
QM	6	Quercus muehlenbergii	Chinkapin Oak	B&B	3" cal. 14'ht. 7'wd	Full, well shaped
TD	1	Taxodium distichum	Bald Cypress	B&B	3" cal. 14'ht. 7'wd	Full, well shaped
TA	1	Tilia americana	American Basswood	B&B	3" cal. 14'ht. 7'wd	Full, well shaped
EVERGREEN SHRUB						
AU	9	Arctostaphylos uva-ursi 'Massachusetts'	Bearberry	#3 cont.	12"ht. x 18"wd.	Full, vigorous
BU	5	Buxus x 'Glencoe'	Chicagoland Green Boxwood	#3 cont.	18"ht. x 18"wd.	Full, vigorous
JV	3	Juniperus virginiana 'Cupressifolia'	Hillspire Juniper	B&B	48"ht. x 18"wd.	Full, vigorous
PM	6	Pinus mugo 'Slowmound'	Dwarf Mugo Pine	#3 cont.	18"ht. x 18"wd.	Full, vigorous
DECIDUOUS SHRUB						
FV	7	Forsythia viridissima 'Bronxensis'	Bronx Greenstem Forsythia	#3 cont.	12"ht. x 18"wd.	Full, vigorous
HP	8	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	#5 cont.	24"ht. x 24"wd.	Full, vigorous
HK	13	Hypericum kalimianum 'Blues Festival'	Blues Festival	#3 cont.	18"ht. x 18"wd.	Full, vigorous
IV	5	Itea virginica 'Little Henry'	Little Henry Sweetspire	#3 cont.	18"ht. x 18"wd.	Full, vigorous
ORNAMENTAL GRASS						
CF	1	Calamagrostis x acutifolia 'Karl Foerster'	Feather Reed Grass	#2 cont.		Full, vigorous
FG	10	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	#1 cont.		Full, vigorous
PV	8	Panicum virgatum 'Shenandoah'	Shenandoah Red Switchgrass	#2 cont.		Full, vigorous
PERENNIAL						
HE	6	Hemerocallis 'Siloam Double Classic'	Repeat Blooming Daylily	#1 cont.		
NF	8	Nepeta x faassenii 'Purrsian Blue'	Purrsian Blue Catmint	#1 cont.		
RF	31	Rudbeckia fulgida 'Goldsturm'	Blackeyed Susan	#1 cont.		

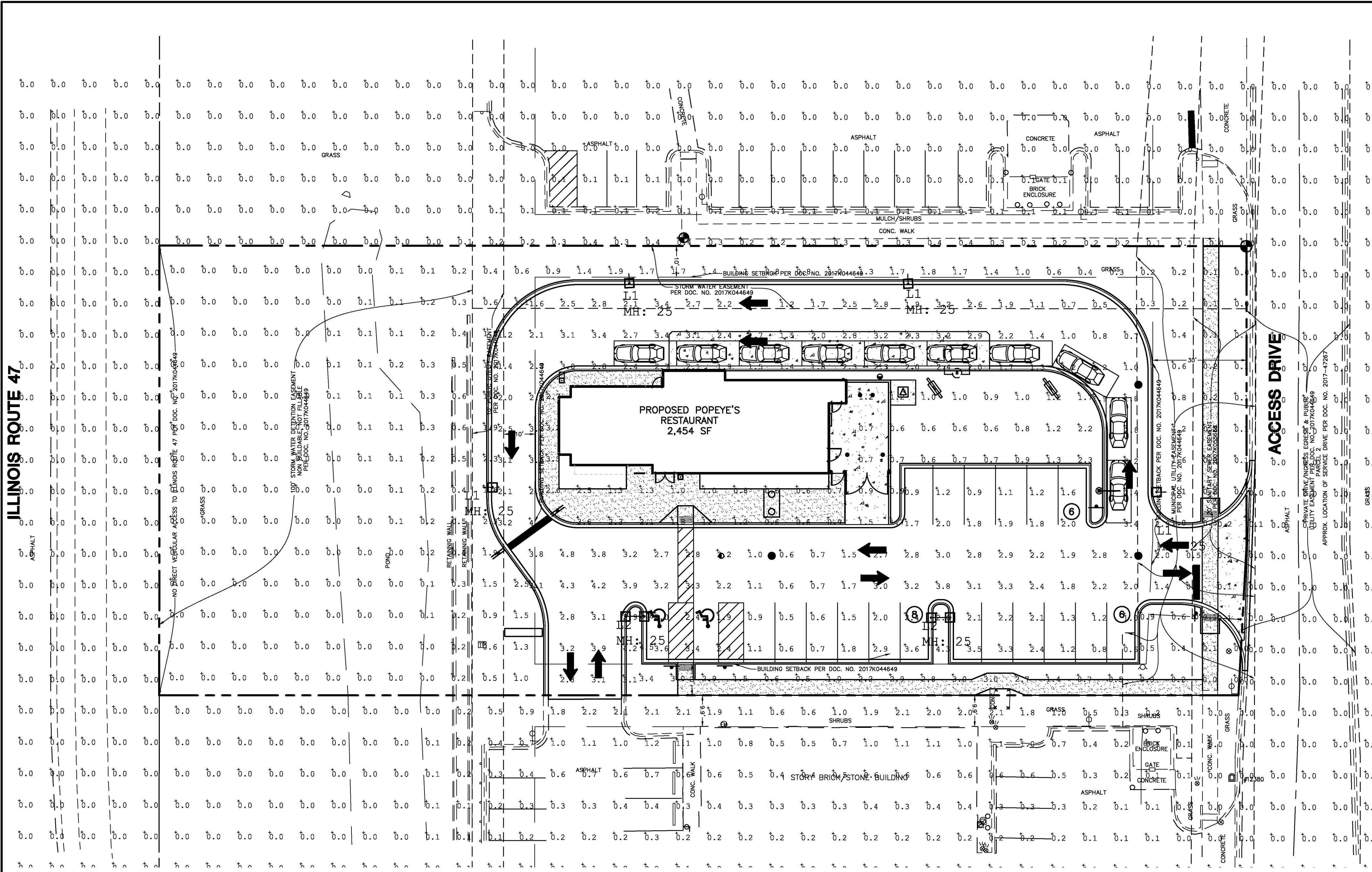
* QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES OF PLANTS ON LANDSCAPE PLAN.

BENCHMARK:

THE BASIS OF ELEVATIONS HEREON IS NAVD 88 PER OBSERVATIONS OF SELECTED STATIONS IN THE NATIONAL GEODETIC SURVEY CONTINUOUSLY OPERATING REFERENCE STATION (NGS CORS) NETWORK.
 BENCHMARK #1: 5/8" REBAR FOUND AT THE NORTHEAST PROPERTY CORNER.
 ELEVATION = 889.44'
 BENCHMARK #2: CUT CROSS CHISELED 'X' FOUND AT THE CORNER OF EXISTING CONCRETE WALK ALONG NORTH PROPERTY LINE.
 ELEVATION = 889.26'
 THE EXISTING CONDITIONS SHOWN ARE BASED UPON A SURVEY PREPARED BY WOOLPERT, INC. AND DATED 01/21/2020



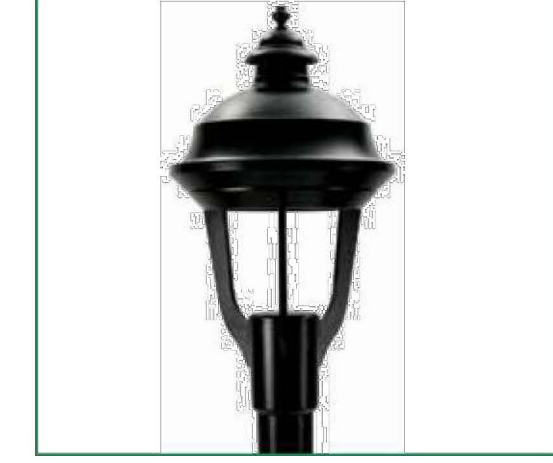
PROJECT NO: 080349		DATE: 04/03/20	
DESIGNER: DR. TH CKD.		DATE: 05/01/20	
1815 South Meyers Road Suite 950 Oakbrook Terrace, IL 60181 630.424.9080 FAX: 630.495.3731		REVISION	
WOOLPERT ARCHITECTURAL ENGINEERING (INCORPORATED)		No. DATE	
SITE DEVELOPMENT PLANS POPEYE'S RESTAURANT - HUNTLEY 12360 ILLINOIS ROUTE 47 - LOT 3 HUNTLEY CROSSINGS HUNTLEY, KANE COUNTY, ILLINOIS 60142		1 05/01/20 PER VILLAGE COMMENTS	
LANDSCAPE PLAN		SHEET NO. C500	



Calculation Summary					
Label	CalcType	Units	Avg	Max	Min
OFFSITE	Illuminance	Fc	0.12	2.2	0.0
PAVEMENT	Illuminance	Fc	2.13	4.8	0.0
SITE	Illuminance	Fc	0.62	4.5	0.0

Luminaire Schedule					
Symbol	Qty	Arrangement	L/F	Description	Lum. Watts
□	4	SINGLE	1.000	XLXM3-PT-3-LED-HO-CW	108
□	2	BACK-BACK	1.000	XLXM3-PT-3-LED-HO-CW	108

LED LEXINGTON DECORATIVE AREA LIGHTS (XLXM3)



US patent 782456, 7952255, & 8432108 and US & Int'l. patents pending

SMART ITC™ - LSI drivers feature integral sensor which reduces drive current, when ambient temperatures exceed rated temperature.

ENERGY SAVING CONTROL OPTIONS - DIM - 0-10 volt dimming enabled with controls by others. BLS - 0-level switching responds to external line voltage signal from separate 120-277V controller or sensor (by others), with low light level decreased to 30% maximum drive current.

LED'S - Select high-brightness LEDs in Cool White (5000K) or Neutral White (4000K) color temperature, 70CRI.

DISTRIBUTION/PERFORMANCE - Types 3, FT, and 5. Exceptional uniformity creates bright environment at lower light levels. Improved backlight cutoff minimizes light trespass.

HOUSING - One piece housing/support frame is die-cast aluminum. Post top access cover and support arms are die-cast aluminum. Housing is sealed with an extruded silicone gasket.

HOUSING TOP CAP - Removable spun aluminum cap/driver enclosure is retained by captive stainless steel fasteners and safety cables. Housing and top cap interface is sealed with a one-piece extruded silicone gasket. Tool-less entry option is available.

SEALED OPTICAL UNIT - Lens is clear, flat tempered glass, sealed to aluminum optics housing. Pressure stabilizing breather allows super-light protection while preventing temperature cycling from building up internal pressures and vacuums that can stress optical unit seals and components.

FASTENERS - All exposed fasteners are black oxide coated stainless steel. Internal fasteners are stainless steel or zinc electroplated steel.

ELECTRICAL - Terminal block for attachment of incoming primary wiring is supplied. Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277VAC (50/60Hz input), 347VAC and 480VAC. Optional button-type photocells (PC) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

DRIVER - Available in Super Saver (SS) and High Output (HO) drive currents (Drive currents are factory programmed). State-of-the-art driver technology designed specifically for LSI LED light sources provides unsurpassed system efficiency. Components are fully enclosed in potting material for moisture resistance. Driver complies with IEC and FCC standards.

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F).

MOUNTING - Post Top and Wall mounting available. Pole selection information shown under fixture drawings.

FINISH - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling.

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

PHOTOMETRICS - Please visit our web site at www.lsi-industries.com for detailed photometric data.

LISTING - Listed to U.S. and Canadian safety standards. Suitable for wet locations.

LIGHT OUTPUT - XLXM3					
POST TOP MOUNT		Lumens (Nominal)		Watts (Nominal)	
Mount	Type	Type 3	Type 5	Type 3	Type 5
SS	64	5100	5570	5240	70
HO	64	8670	8270	7510	108
SS	64	5930	5350	5150	70
HO	64	8250	7560	6890	108

LED Chips are frequently updated therefore values may increase.

Also available in traditional light sources

Project Name _____ Fixture Type _____ 102416
 Catalog # _____ LSI INDUSTRIES INC. © 2016

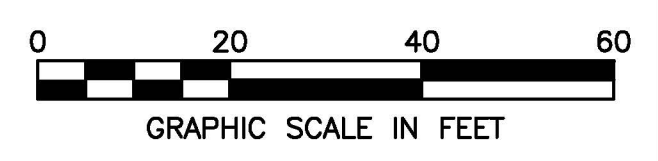
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REVISION

No.	DATE	DESCRIPTION
1	05/01/20	PER VILLAGE COMMENTS

PROJECT No: 080349
 DATE 04/03/20
 DES. TH
 DR. TH
 CKD. RW

1815 South Meyers Road
 Suite 950
 Oakbrook Terrace, IL 60181
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 FAX: 630.495.3731

WOOLPERT
 ARCHITECTURAL ENGINEERING (CORPORATE)

SITE DEVELOPMENT PLANS
POPEYE'S RESTAURANT - HUNTLEY
 12860 ILLINOIS ROUTE 47 - LOT 3 HUNTLEY CROSSINGS
 HUNTLEY, KANE COUNTY, ILLINOIS 60142

PHOTOMETRIC PLAN

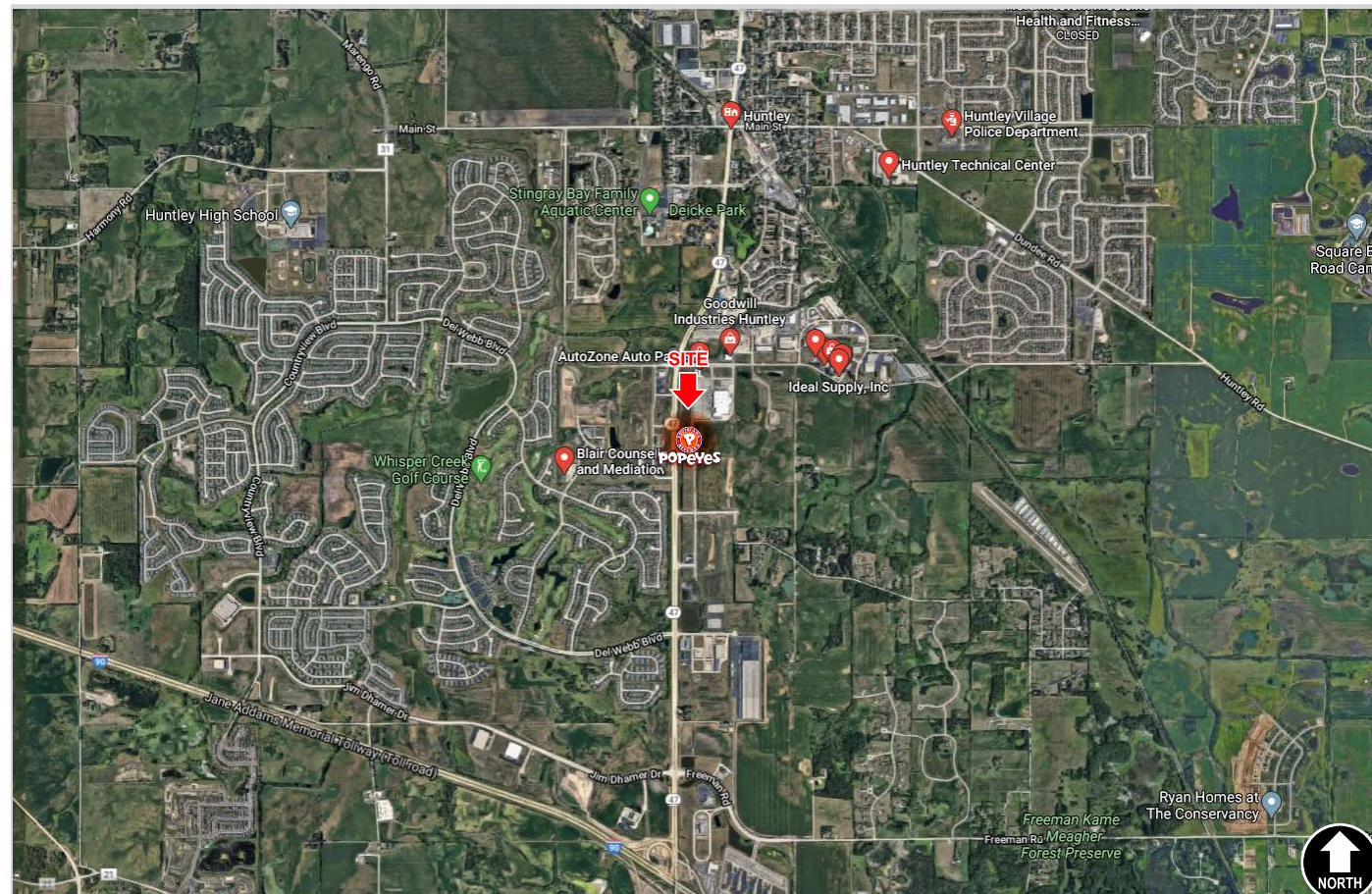
SHEET NO. **C700**

SCHEDULE

- N1 - (1) 27" ILLUMINATED CHANNEL LETTERS WITH 8" SECONDARY ILLUMINATED CHANNEL LETTERS
- N2 - (1) 27" ILLUMINATED CHANNEL LETTERS WITH 8" SECONDARY ILLUMINATED CHANNEL LETTERS
- N3 - (1) 36" ILLUMINATED BUILDING SEAL
- N4 - (1) 36" ILLUMINATED BUILDING SEAL
- N5 - (1) NON-ILLUMINATED FCO LETTERS "LOVE THAT CHICKEN"
- N6 - (1) 10'-0"X4'-0"X8" DRIVE THRU WINDOW CANOPY
- N7 - (1) 17'-0"X3'-0"X8" CANOPY (FRONT SIDE)
- N8 - (1) 17'-0"X3'-0"X8" CANOPY (LEFT SIDE)
- N9 - (1) 17'-0"X3'-0"X8" CANOPY (RIGHT SIDE)
- N10 - (1) 7'-0"X3'-0"X8" CANOPY
- N11 - (1) 5'-0"X3'-0"X8" CANOPY
- N12 - (4) NON-ILLUMINATED 8" TALL BUILDING FASCIA BAND (SIMPLE DESIGN)
- N13 - (1) **CUSTOM CLEARANCE BAR**
- N14 - (1) DRIVE THRU MENU CANOPY
- N15 - (1) SPEAKER POST
- N16 - (1) MONUMENT SIGN

LEGEND

- N1 NEW PROPOSED
- R1 EXISTING SIGN TO BE REPLACED
- X1 EXISTING SIGN TO BE REMOVED
- S1 EXISTING SIGN TO REMAIN



VICINITY MAP

NOT TO SCALE



POPEYES
 (HZ Foods Pop 844)
 12360 Route 47
 Huntley, IL 60142

APPROVAL

X	Title	Date
---	-------	------

SIGN CODE

Wall Signs: Total surface area of all wall signs on a building shall not exceed one (1) square foot for each lineal foot of the building's frontage. Limited to the street frontage face of a building. (Frontages front 26', rear 29')

Freestanding Signs: The surface area shall not exceed one-half (1/2) square foot per linear feet of street frontage, maximum of eighty (80) square feet. Height. It shall be unlawful to install any ground sign whose total height is greater than fifteen (15) feet above the level of the street upon which the sign faces... All ground signs shall be mounted on a decorative masonry or natural stone base... No ground signs shall be placed within the Vision Clearance Triangle as defined in § 156.111. For every one (1) square foot of sign area there shall be provided two (2) square feet of landscaped area immediately adjacent to the sign base. Time and temperature displays shall be permitted on wall and ground signs provided that the area devoted to such display shall not exceed twenty-five percent (25%) of the total sign area... (Street frontage 143'-7")

SQUARE FOOTAGE INFORMATION

ALLOWABLE 0.00 SQ. FT.

PROPOSED 0.00 SQ. FT.



AERIAL MAP

NOT TO SCALE



LOREN INDUSTRIES

12226 Coast Drive
 Whittier, CA 90601
 Tel: (562) 946-7545
 Fax: (562) 949-5707
 St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:
 03-20-0010R4
 PROPOSAL

PAGE NO.:

1 OF 19

CLIENT:

POPEYES

ADDRESS

12360 Route 47
 Huntley, IL 60142

Approval Signature

DATE:

03/24/2020

PROJECT MANAGER

Dave P.

DESIGNER:

Adrian C.

REVISION DATE:

05/05/2020

REVISION BY:

Jose Soria

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.



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2 OF 19

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POPEYES

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12360 Route 47
Huntley, IL 60142

Approval Signature

DATE:

03/24/2020

PROJECT MANAGER

Dave P.

DESIGNER:

Adrian C.

REVISION DATE:

05/05/2020

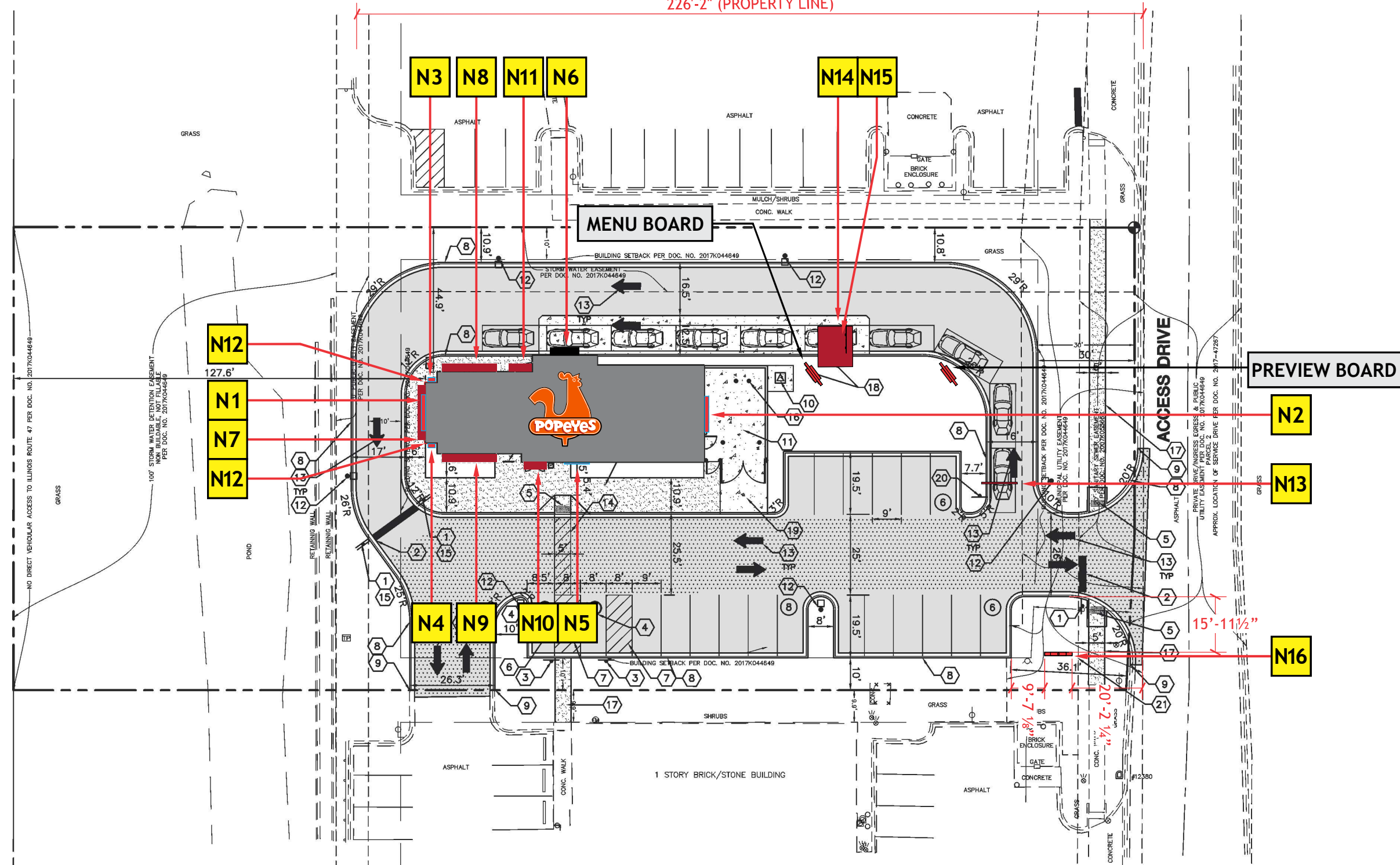
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226'-2" (PROPERTY LINE)

112'-4" (PROPERTY LINE)



NOTE: DIGITAL PREVIEW AND MENU BOARDS BY OTHERS.

SITE PLAN



Scale: 1/32" = 1'-0"

7'-10 1/2"

N16

N13

N2

PREVIEW BOARD

ACCESS DRIVE

MENU BOARD

N3 N8 N11 N6

N14 N15

N12

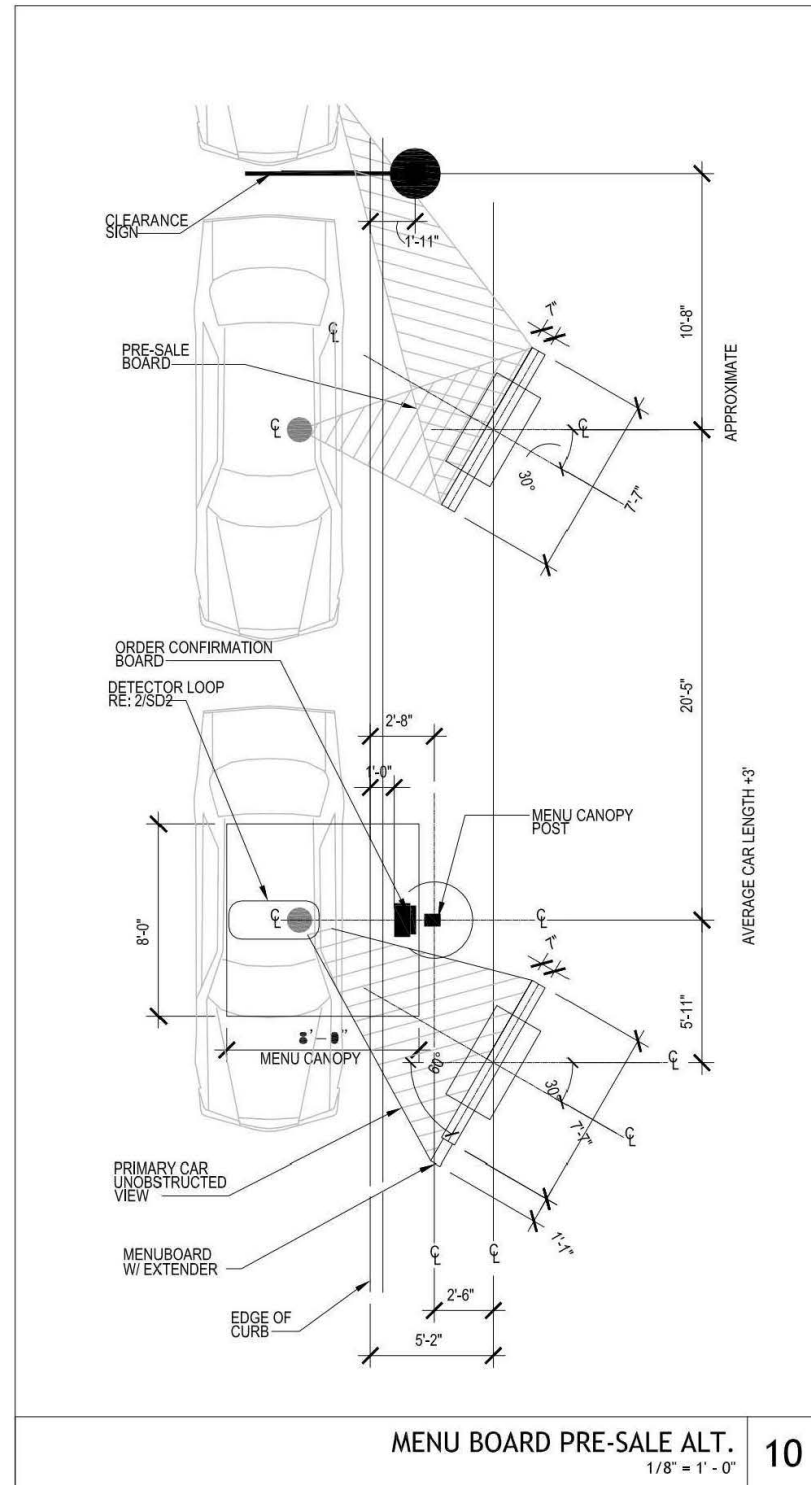
N1

N7

N12

N4 N9

N10 N5



Speaker canopy menu board standard template location.



LOREN

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3 OF 19

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POPEYES

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12360 Route 47
Huntley, IL 60142

Approval Signature

DATE:

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PROJECT MANAGER

Dave P.

DESIGNER:

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REVISION DATE:

05/05/2020

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4 OF 19

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REVISION BY:

Jose Soria

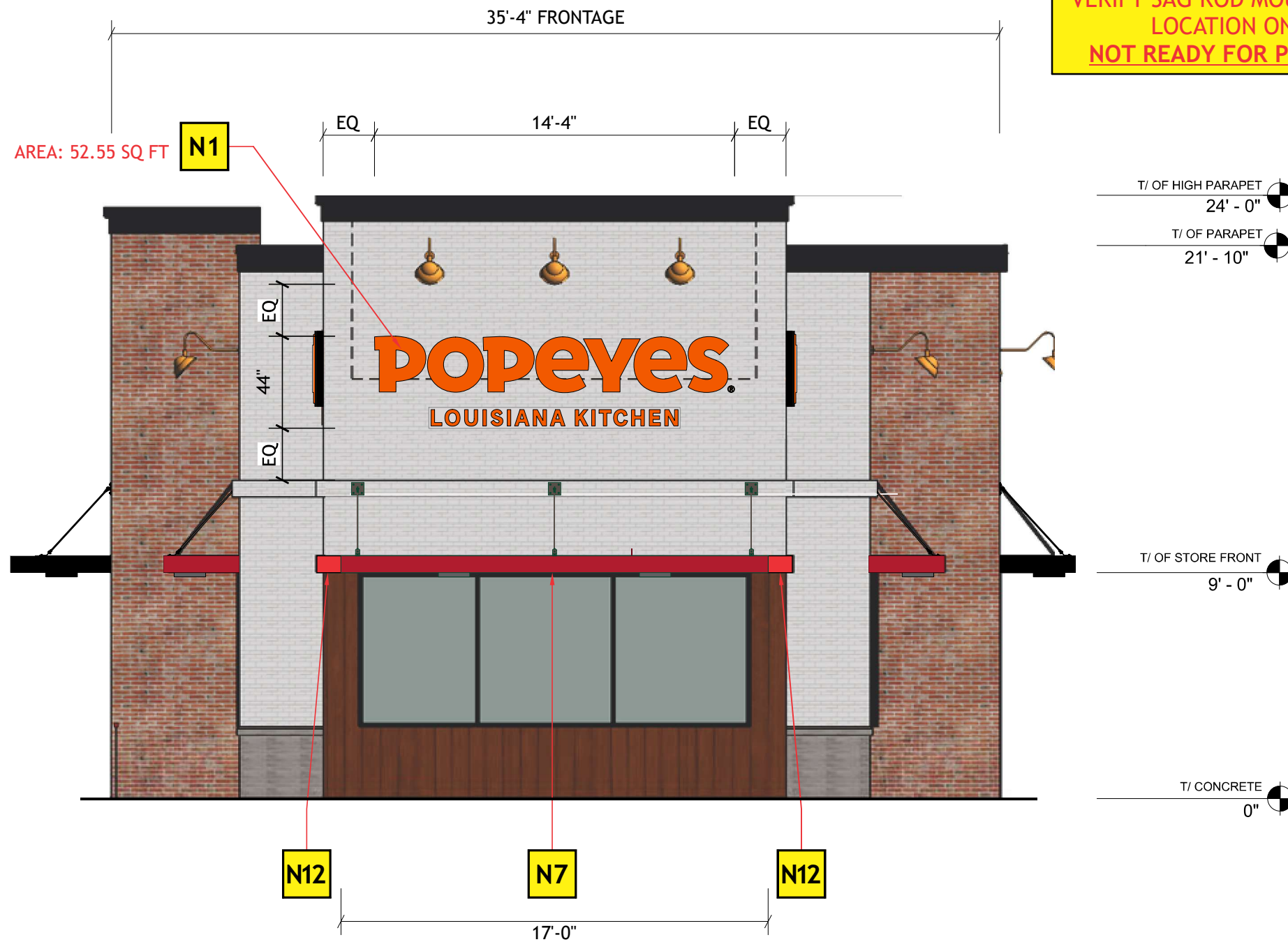
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NOTE

FIELD SURVEY REQUIRED TO VERIFY ALL BUILDING DIMENSIONS
NOT READY FOR PRODUCTION

NOTE

FIELD SURVEY REQUIRED TO VERIFY SAG ROD MOUNTING PLATE LOCATION ON WALL
NOT READY FOR PRODUCTION



WEST ELEVATION (FRONT)

Scale: 3/16" = 1'-0"



LOREN

LOREN INDUSTRIES

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Fax: (562) 949-5707

St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:

03-20-0010R4

PROPOSAL

PAGE NO.:

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CLIENT:

POPEYES

ADDRESS

12360 Route 47
Huntley, IL 60142

Approval Signature

DATE:

03/24/2020

PROJECT MANAGER

Dave P.

DESIGNER:

Adrian C.

REVISION DATE:

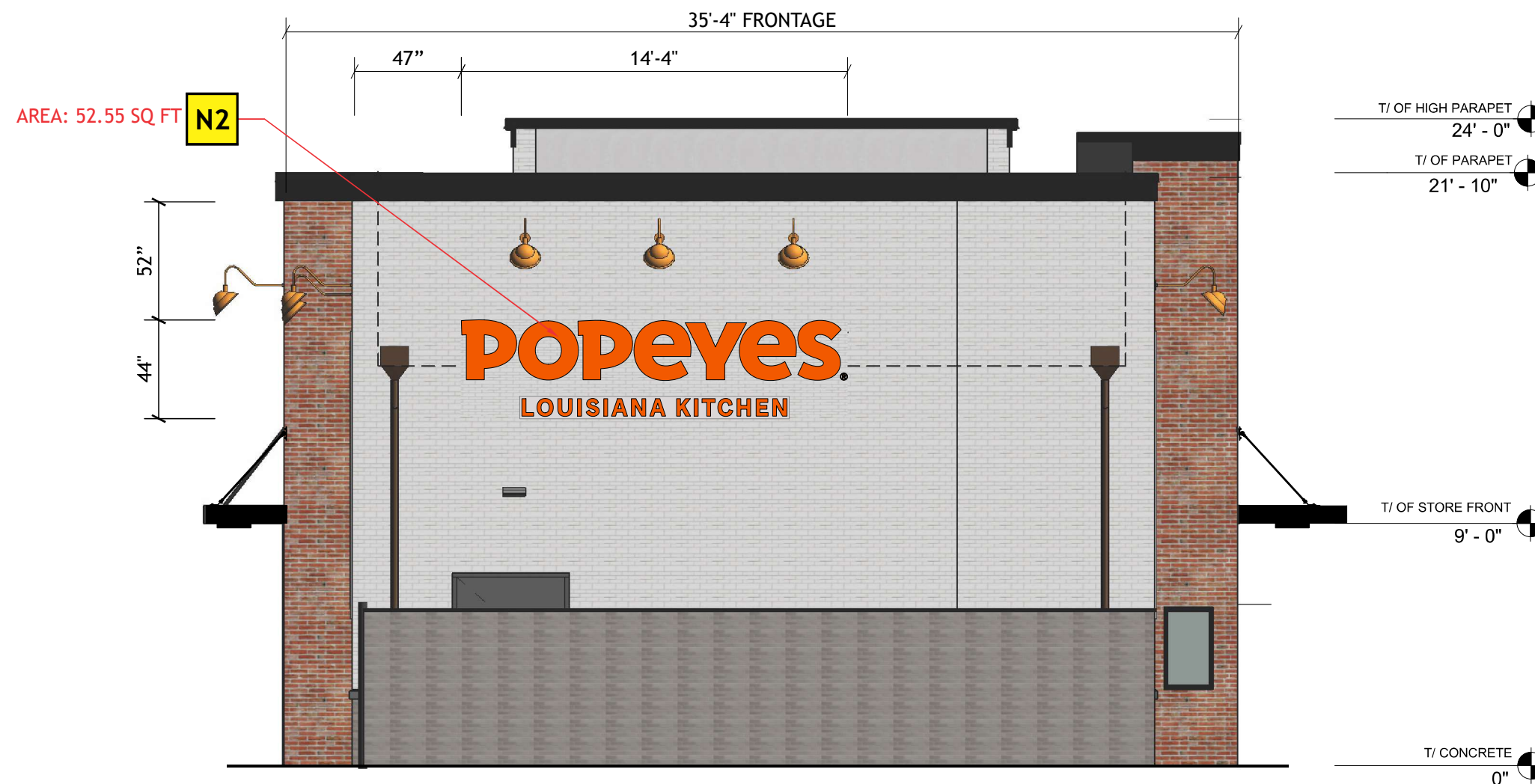
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 EAST ELEVATION (REAR)

Scale: 3/16" = 1'-0"



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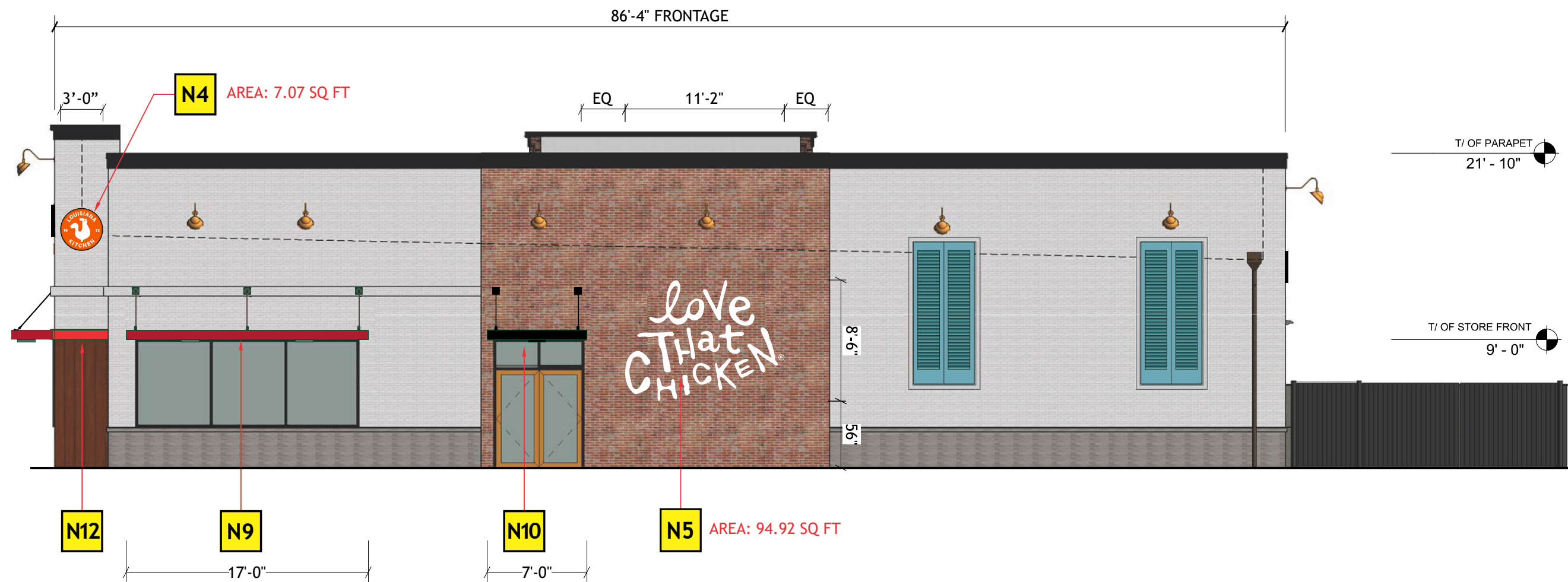
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NOTE

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WINDOW SHUTTERS
FURNISHED & INSTALLED
BY OTHERS.



SOUTH ELEVATION (RIGHT)

Scale: 1/8" = 1'-0"



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WINDOW SHUTTERS
FURNISHED & INSTALLED
BY OTHERS.

86'-4" FRONTAGE

AREA: 7.07 SQ FT

N3

T/ OF PARAPET
21' - 10"

T/ OF STORE FRONT
9' - 0"

N6

10'-0"

N11

5'-0"

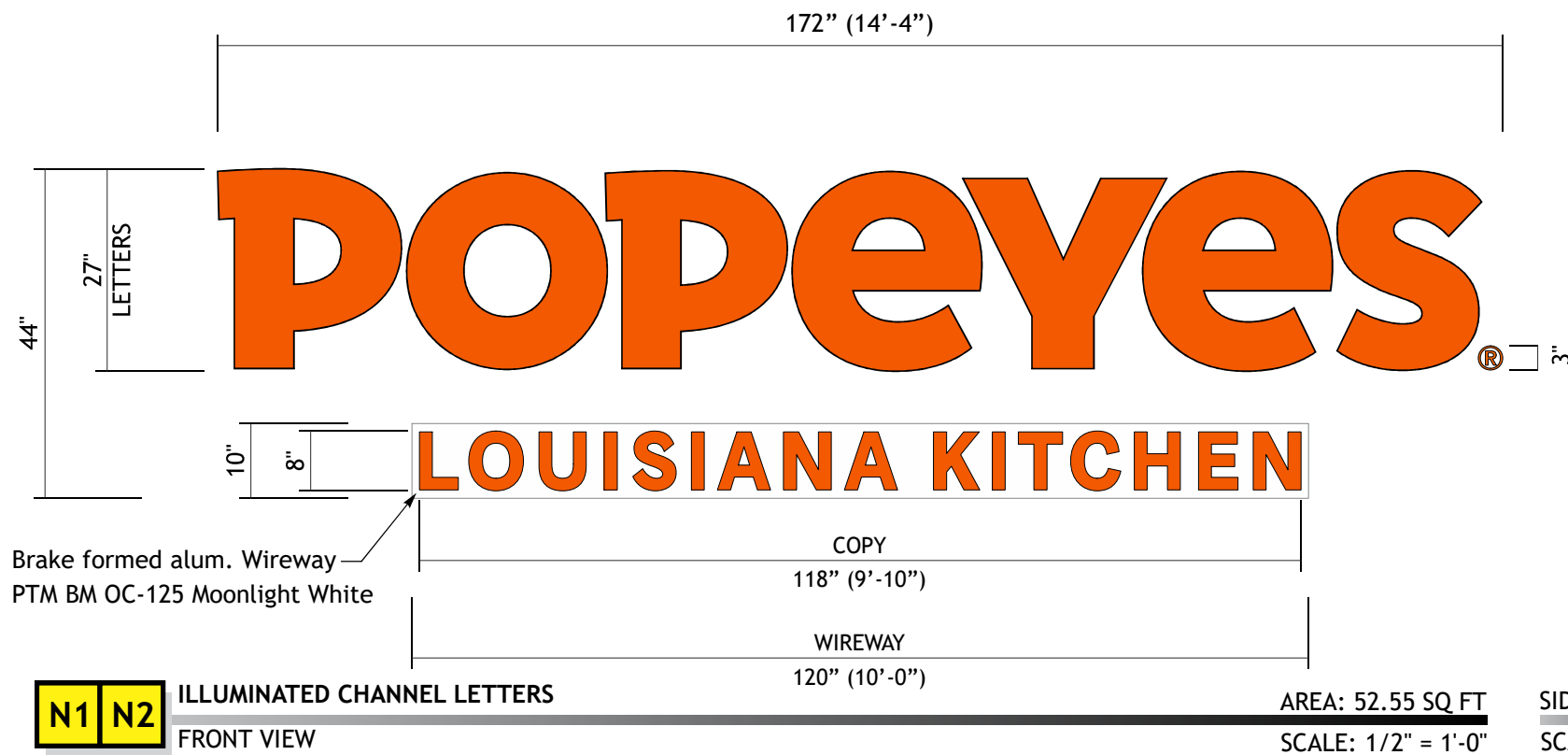
N8

17'-0"

N12

 NORTH ELEVATION (LEFT)

Scale: 1/8" = 1'-0"



SPECIFICATIONS:

LETTERS: POPEYES

FACES:..... .177" #7328 WHITE ACRYLIC FACES
w/ 1ST SURFACE VINYL
3630-44 ORANGE
RETURNS:..... .040" X 3.0 ALUMINUM BLACK COIL
BACKS:..... 1/8" WHITE ACM BACKS
TRIM CAP:..... 1" JEWELITE BLACK TRIMCAP
ILLUMINATION:.. WHITE LED'S

SPECIFICATIONS:

LETTERS: LOUISIANA KITCHEN

FACES:..... .177" #7328 WHITE ACRYLIC FACES
w/ 1ST SURFACE VINYL
3630-44 ORANGE
RETURNS:..... .040" X 3.0 ALUMINUM BLACK COIL
BACKS:..... 1/8" WHITE ACM BACKS
TRIM CAP:..... 1" JEWELITE BLACK TRIMCAP
ILLUMINATION:.. WHITE LED'S
WIREWAY..... .090" BRAKE FORMED ALUM.
PTM BM OC-125 MOONLIGHT WHITE



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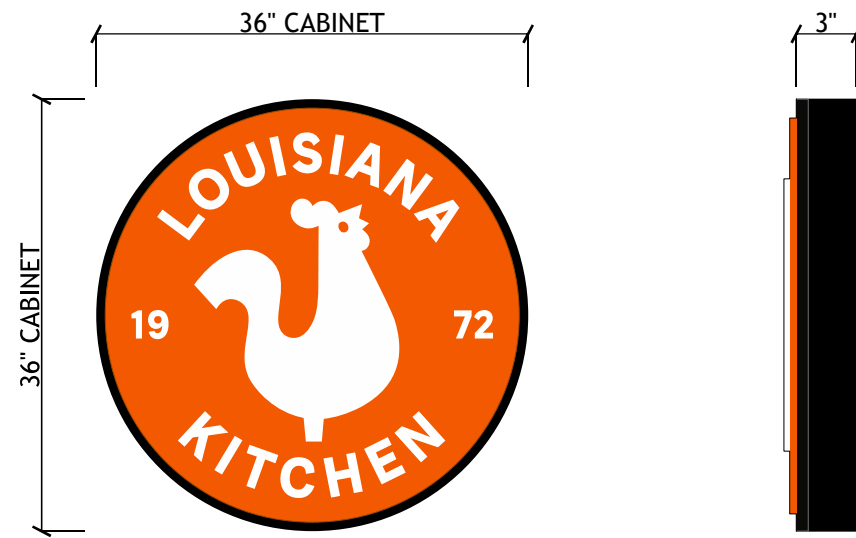
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SPECIFICATIONS:

1. RETURNS - 3" X .063" ALUMINUM PAINTED BLACK
2. FACES - .118" CLEAR IMPACTED MODIFIED ACRYLIC W/ 2ND SURFACE VINYL
- 3630-44 ORANGE, 3630-20 WHITE
3. TRIM CAP - 1" BLACK
4. BACKS - 1/8" ACM
5. LEDS- WHITE LED W/ 12V 60W POWER SUPPLY

N3 N4 ILLUMINATED BUILDING SEAL (QTY 2) AREA: 7.07 SQ FT
 FRONT VIEW & SIDE VIEW SCALE: 3/4" = 1'-0"

NOTE: TIME CLOCK PROVIDED BY OTHERS.



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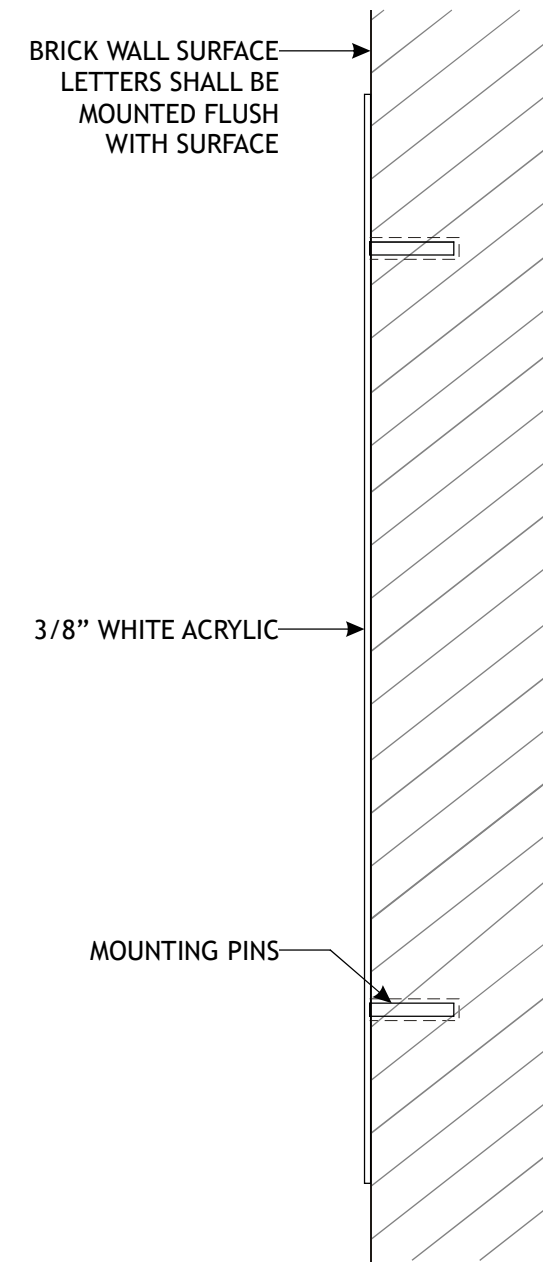
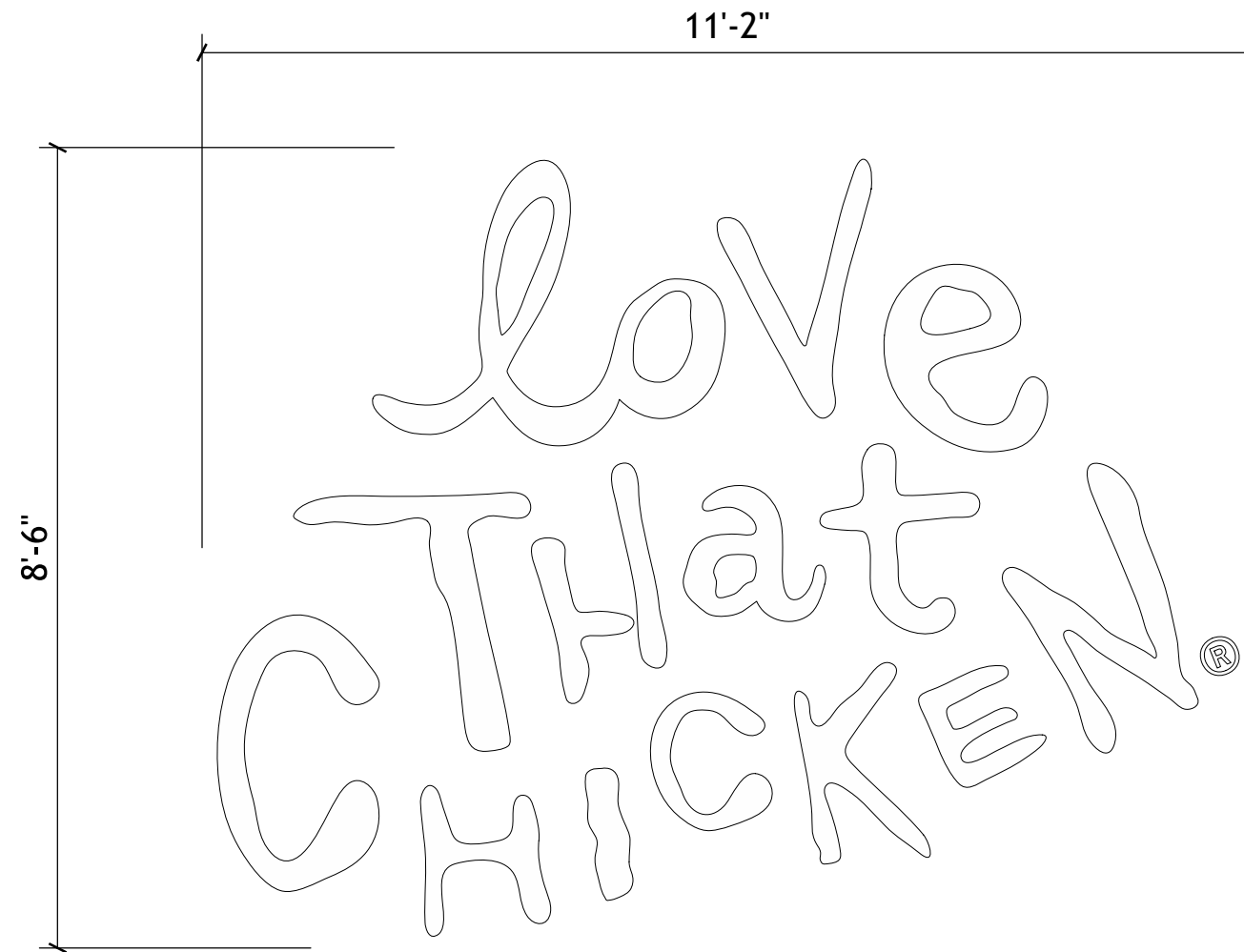
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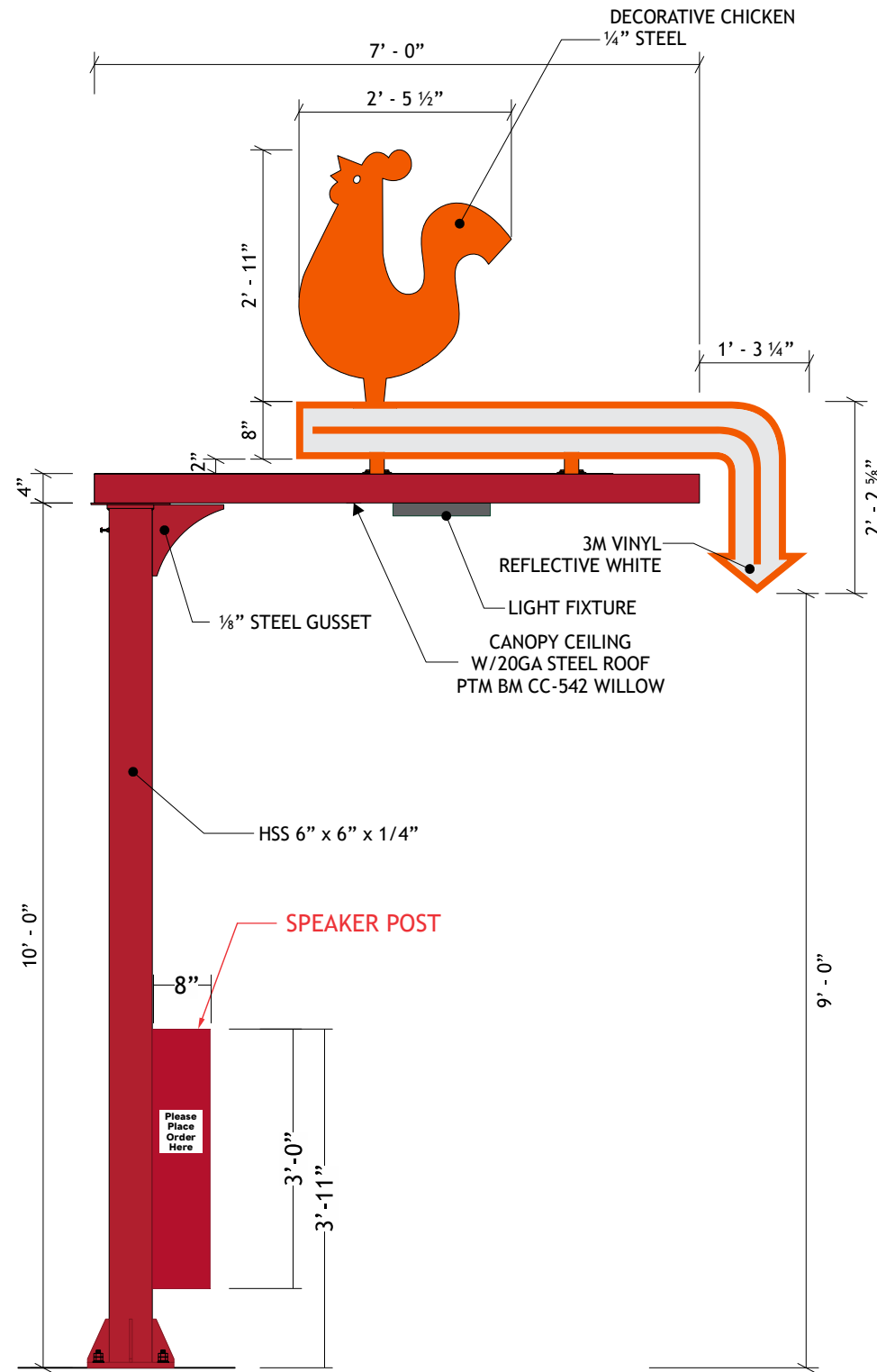
N5

"LOVE THAT CHICKEN" NON-ILLUMINATED FCO LETTERS

AREA: 94.92 SQ FT

Scale: 3/4" = 1'-0"

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- COLOR**
- PMS 187C RED
 - BM CC-542 WILLOW

FOOTING BY OTHERS



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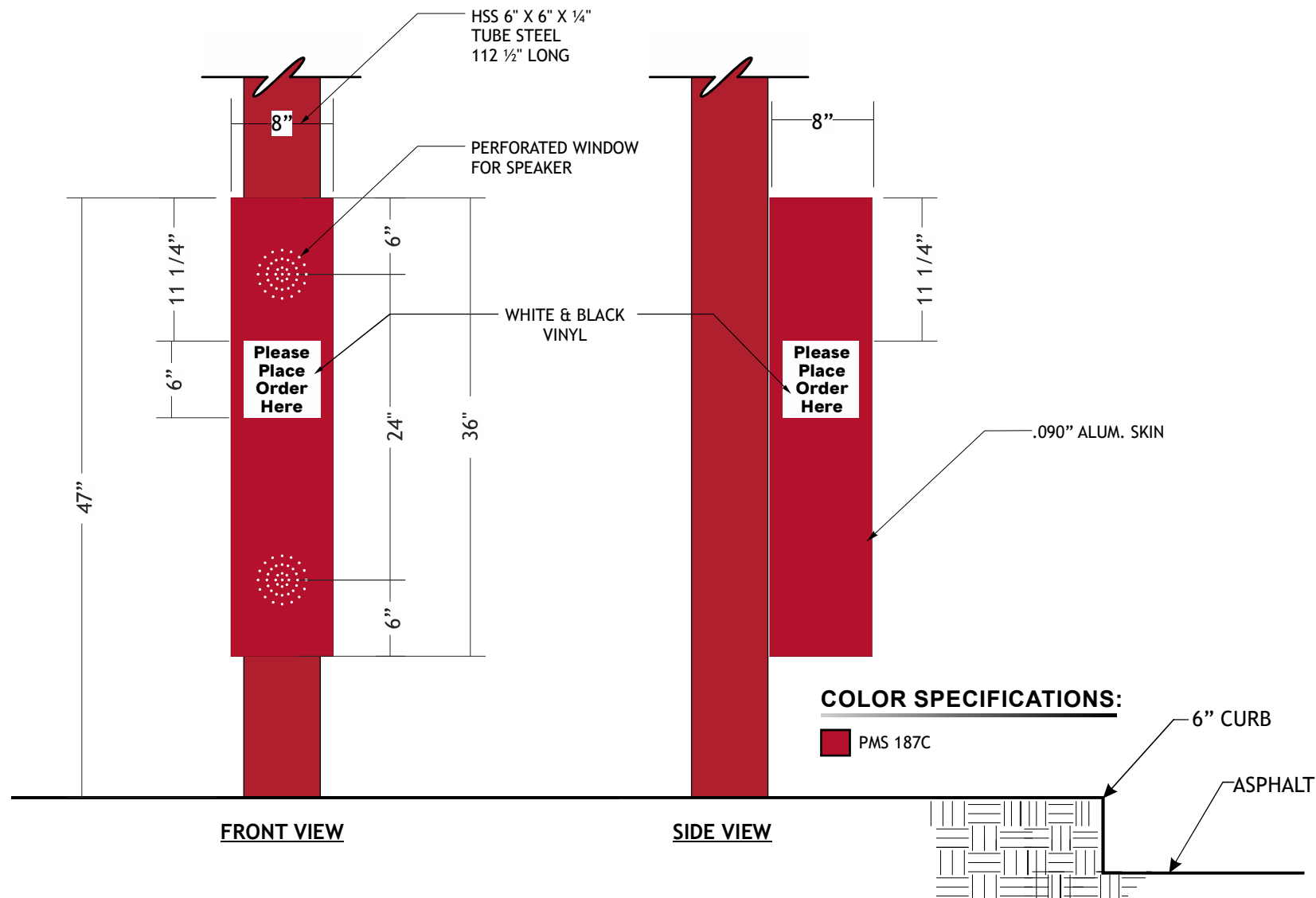
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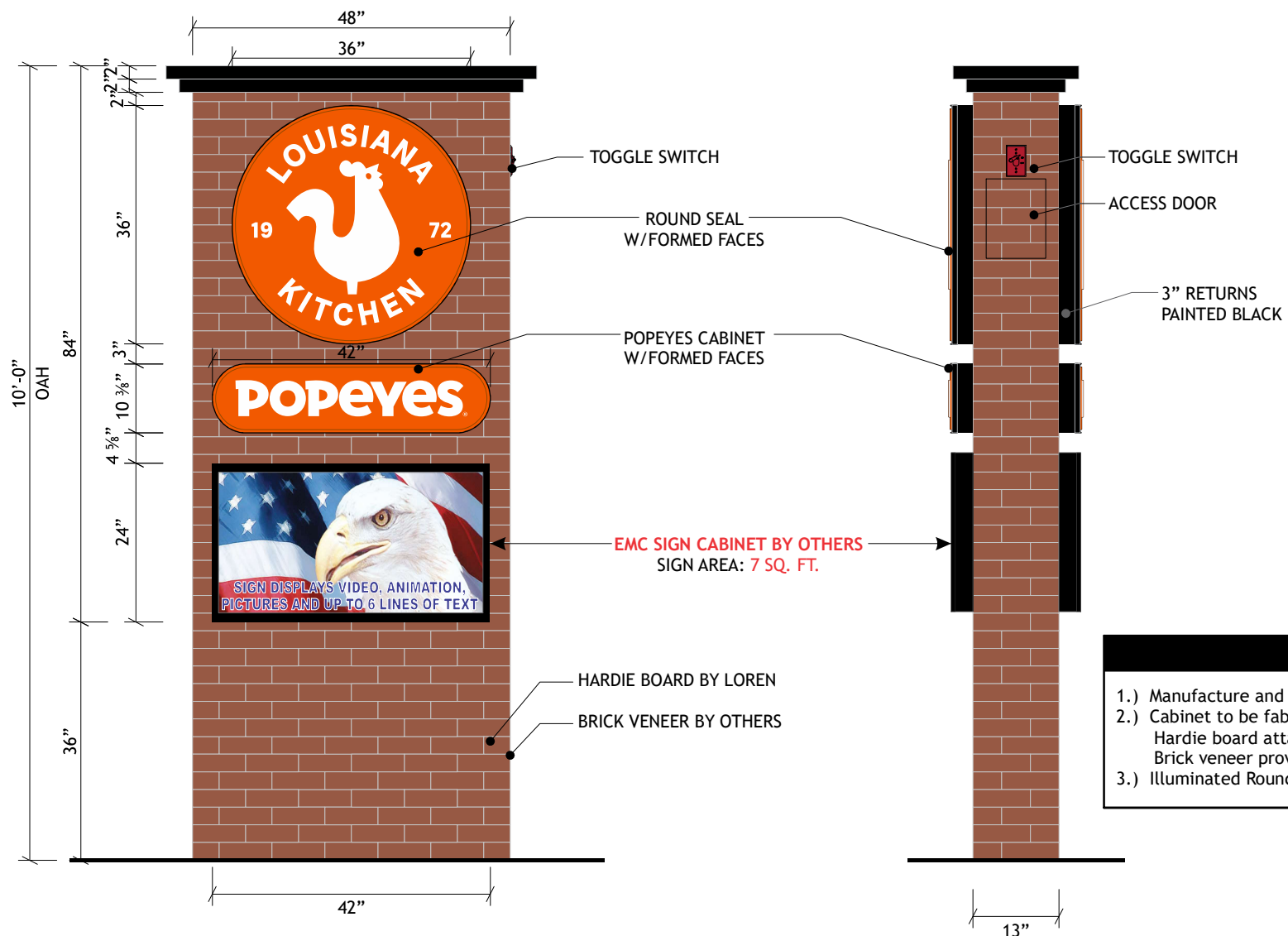


N15

NON-ILLUMINATED SPEAKER POST

SCALE: 1 1/2" = 1'-0"

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COLOR SPECIFICATIONS:

- PMS 1655C - 3M 3630-44 ORANGE
- BM 2120-20 BLACK IRON
- BRICK VENEER EB-1, ARCHITECTURAL URBAN SERIES, FLAGSTAFF

SCOPE OF WORK

- 1.) Manufacture and install type double faced monument as shown.
- 2.) Cabinet to be fabricated w/1 1/2" alum. angle & skinned w/.090" alum. Hardie board attached to 090" alum. (Loren) Brick veneer provided and installed (By others.)
- 3.) Illuminated Round seal & POPEYES cabinet to be mounted to monument.



NIGHT TIME VIEW

N6 MONUMENT SIGN
SIGN AREA: 40 SQ. FT.

Scale: 1/2" = 1'-0"

NOTE
BRICK VENEER TO MATCH BUILDING, PROVIDED AND INSTALLED BY OTHERS.



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